



June 19, 2026

**Subject: *Roseboro Emergency Services Building - Sampson County
Addendum No. 3
Bid Question Response to RFB Issued 06/ 19/ 2026***

To Whom It May Concern,

On behalf of our client, Sampson County (County), Kimley-Horn and Associates, Inc. is providing Addendum No. 3, dated 06/ 19/ 2026 in reference to the above-mentioned project. The following has been is attached for reference.

- 2026.06.16 - Sampson County - Roseboro EMS Building - Architectural Plans Full Set
 - The following sheets have revisions dated 06/ 16/ 2026
 - A-101 – revised to show wall types
- 2026.06.15 - Sampson County - Roseboro EMS Building - Outline Specifications
- 2026.06.15 - Sampson County - Roseboro EMS Building - Required Special Inspections
- 2026.06.15 – 00 41 13 – Bid Form
 - Revised to include allowances and alternates
 - Revised to simplify bid items; Pay Application will be required for line item costs
- 2026.06.15 – 01 22 00 – Unit Prices

We have responded below to all questions/ comments received to date:

Comments Dated 06/ 18/ 2022:

1. Do we need to include a BDA Survey and System in our base bid?

Response 1: County Fire Department will complete the BDA Survey. No cost should be included in the base bid.

2. Will the appliances be the GC or owner? If GC could we get the model numbers?

Response 2: The GC will be responsible for providing appliances. An allowance has been added to the bid form for appliances. Appliance selection will be completed during and as part of the submittal process.

3. Does the owner or GC provide the Lockers and Benches is Toilet 107?

Response 3: The GC will be responsible for providing lockers. Additional details are included in Division 10 of the Outline Specifications attached. The owner will select and provide the bench (considered furniture).

4. Is the propane tank by the GC or Owner? If by GC, can you provide details on size?

Response 4: Please include a bid alternate price for a propane tank as noted on the bid form. Additional details can be found in Division 26 of the Outline Specifications attached.

5. We could not locate a finish schedule or plan that shows types of flooring, base board, or paint locations.

Response 5: Applicable finishes are included in the Outline Specifications attached.

6. Does this project have any window treatments, we could not locate them on the drawings.

Response 6: Details on windows are provided in Section 8 of the Outline Specifications.

7. Do we need to carry an allowance for any unsuitable soils or rock? Or will this be handled as a change order.

Response 7: An allowance for unsuitable soils and rock is included in the Bid Form.

8. It looks like the scale should be 1" = 20' in lieu of 1" = 30', is this correct?

Response 8: The scale on Sheet C-1 of the Civil Plans should be 1"=20'. The plans will be updated and posted with the next addendum.

9. What material do we need to carry for the soffits?

Response 9: Material for the soffits should be the standard material provided by the pre-engineered metal building vendor.

10. Can you provide more detail on how the parapet will need to be constructed?

Response 10: Material for the parapet should be the standard material provided by the pre-engineered metal building vendor.

11. Can you provide more detail for the cabinets and counter tops?

Response 11: Additional details are included in the Outline Specifications attached.

12. Do we need to include cost for sprinkler and Fire Alarm scope? For the sprinkler I did not see a line coming in on the utilities drawing.

Response 12: Additional details on the Sprinkler System is included in Division 21 of the Outline Specifications as well as Sheet P-1 of the Architectural Plans.

13. Can you provide a wall schedule for the interior walls and heights.

Response 13: Additional details on interior walls are included in the Outline Specifications attached.

14. Are there any trade specifications for this project? I downloaded the plans and the specs provided, but it only includes division 01.

Response 14: Outline Specifications are attached for reference.

15. Are there any specifications for Materials to be used & Finish Schedule for Roseboro EMS Building?

Response 15: Additional details on materials and finishes are included in the Outline Specifications attached.

16. What are the PEMB Wall and Roof Panel types, profiles, and colors?

Response 16: Additional details can be found in the Outline Specifications attached.

17. Is the furniture by owner or GC?

Response 17: Furniture will be provided by Owner.

18. A-101 References C3/ A-301 Wall Detail for the Bay Area. Is the intent to have drywall and lay in ceilings in the bay?

Response 18: Reference tag C3/ A-103 in the truck bay should say "similar to". No ceiling in the truck bay but the wallboard does extend to the top track per the section. Also refer to Sheet A-102 for ceiling questions.

19. Are there no requirements for Fire Extinguishers by the GC?

Response 19: Please see Division 10 of the Outline Specifications attached.

Additional questions received to date will be addressed as part of Addendum #4. Please contact me at (727) 498-2585 or shelby.hughes@kimley-horn.com should you have any questions or desire additional information.

Sincerely,

A handwritten signature in blue ink, appearing to read 'SHH', with a stylized flourish extending from the end.

Shelby Hughes, P.E.

Project Manager

KIMLEY-HORN AND ASSOCIATES, INC.

2018 BUILDING CODE SUMMARY - APPENDIX B

Name of Project: ROSEBORO EMS RESCUE
Address: W Dr Martin Luther King Jr Blvd Zip Code 28382
Owner/Authorized Agent: Teury Faircloth Phone: (910) 590-6700 E-Mail: teuryc2000@aol.com
Owned By: ☐ City/County ☒ Private/Nonprofit ☐ State
Code Enforcement Jurisdiction: ☒ City Roseboro ☒ County Sampson ☐ State

CONTACT: ANDREW W. PRIVETTE, AIA

DESIGNER	FIRM	NAME	PHONE	EMAIL
Architectural	DESIGNED TO BUILD	ANDREW PRIVETTE	3877	(910) 485-8567 d2bandrew@gmail.com
Civil	TBD			
Electrical	COASTAL PLAINS ENG.	CHRIS LOCKLEAR	2193	(910) 491-6404 coastalplainseng@gmail.com
Fire Alarm	COASTAL PLAINS ENG.	CHRIS LOCKLEAR	2193	(910) 491-6404 coastalplainseng@gmail.com
Plumbing	COASTAL PLAINS ENG.	CHRIS LOCKLEAR	2193	(910) 491-6404 coastalplainseng@gmail.com
Mechanical	COASTAL PLAINS ENG.	CHRIS LOCKLEAR	2193	(910) 491-6404 coastalplainseng@gmail.com
Sprinkler-Standpipe	N/A			
Structural	DESIGNED TO BUILD	ANDREW PRIVETTE	3877	(910) 485-8567 d2bandrew@gmail.com
Retaining Walls >5' High	N/A			
Other	N/A			

2018 NC BUILDING CODE: ☒ New Building ☐ Shell/Core ☐ 1+ Time Interior Completions

☐ Addition ☐ Phased Construction-Shell Core

2018 NC EXISTING BUILDING CODE: ☐ Prescriptive ☐ Alteration Level 1 ☐ Historic Property
☐ Repair ☐ Alteration Level 2 ☐ Change of Use
☐ Chapter 14 ☐ Alteration Level 3

CONSTRUCTED: (date) N/A CURRENT OCCUPANCY(S) (Ch. 5): N/A

RENOVATED: (date) N/A PROPOSED OCCUPANCY(S) (Ch. 5): BUSINESS

OCCUPANCY CATEGORY (Table 1604.5): Current: N/A Proposed: IV

BASIC BUILDING DATA

Construction Type: ☐ I-A ☐ II-A ☐ III-A ☐ IV ☐ V-A
☐ I-B ☐ II-B ☐ III-B ☒ V-B

Sprinklers: ☐ No ☐ Partial ☐ NFPA 13 ☐ NFPA 13R ☒ NFPA 13D

Standpipes: ☒ No ☐ Class I ☐ II ☐ III ☐ Wet ☐ Dry

Primary Fire District: ☒ No ☐ Yes Flood Hazard Area: ☒ No ☐ Yes

Special Inspections Required: ☒ No ☐ Yes Fire Flow: 1500 GPM for 2 hours

GROSS BUILDING AREA TABLE

FLOOR	EXISTING (SQ. FT.)	New (SQ. FT.)	SUB-TOTAL
3 rd Floor			
2 nd Floor			
Mezzanine		2,400	
1 st Floor			
Basement			
Total		2,400	

ALLOWABLE AREA

Primary Occupancy Classification(s):

Assembly ☐ A-1 ☐ A-2 ☐ A-3 ☐ A-4 ☐ A-5
Business ☒
Educational ☐
Factory ☐ F-1 Moderate ☐ F-2 Low
Hazardous ☐ H-1 Detonate ☐ H-2 Deflagrate ☐ H-3 Combust ☐ H-4 Health ☐ H-5 High
Institutional ☐ I-1 ☐ I-2 ☐ I-3 ☐ I-4
I-3 Condition ☐ 1 ☐ 2
I-2 Condition ☐ 1 ☐ 2
I-1 Condition ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5
Mercantile ☐
Residential ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4
Storage ☐ S-1 Moderate ☐ S-2 Low ☐ High Piled
☐ Parking Garage ☐ Open ☐ Enclosed
Utility and Miscellaneous ☐

Accessory Occupancy Classification(s): B2

Incidental Uses (Table 509): N/A

Special Uses (Chapter 4 - Use Code Sections): N/A

Special Provisions (Chapter 5 - Use Code Sections): N/A

Mixed Occupancy: ☒ No ☐ Yes Separation: No Exception:

☐ Non-separated Use (508.3)

☐ Separated Use (508.4) - See below for area calculations for each story.

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$

STORY NO.	DESCRIPTION AND USE	(A) BUILDING AREA PER STORY (ACTUAL)	(B) TABLE 506.2 AREA	(C) AREA FOR OPEN SPACE INCREASE	(D) ALLOWABLE AREA FOR STORY (BY UNITS/TYPE)
GROUND	BUSINESS	2,100	23,000	17,250	40,250

- 1) Perimeter area increases from Section 506.2 are computed thus:
- Perimeter which fronts a public way or open space having 20 feet minimum width = 20' (F)
 - Total Building Perimeter = 200' (P)
 - Ratio (F/P) = 1.1 (F/P)
 - W = Minimum width of public way = 30' (W)

2) Perimeter of footage increase: $I = 100[(F/P) - 0.75] \times W/30 - 75$ (%)

3) Unlimited area applicable under conditions of Section 507.

4) Maximum Building Area = total number of stories in the building x D (maximum stories) (506.2).

5) The maximum area of open parking garages must comply with Table 606.4. The maximum area of air traffic control towers must comply with Table 112.3.1.

6) Footage increase is based on the unpermitted area values in Table 506.2.

ALLOWABLE HEIGHT

	ALLOWABLE	SECTION OR PLAN	CODE REFERENCE
Building Height in Feet (Table 504.3)	55'	18"	
Building Height in Stories (Table 504.4)	3	1	

1) Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING REQUIRED	PROVIDED (BY REDUCTION)	DETAILS AND SCHEDULES	DESIGN FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
Structural Frame Including columns, girders, trusses		0	0				
Deming Walls		0	0				
Exterior		0	0				
North	>30	0	0				
East	>30	0	0				
West	>30	0	0				
South	>30	0	0				
Interior		0	0				
Nonbearing Walls and Partitions		0	0				
Exterior		0	0				
North	>30	0	0				
East	>30	0	0				
West	>30	0	0				
South	>30	0	0				
Interior		0	0				
Floor Construction Including supporting beams and joists		N/A	N/A				
Floor Ceiling Assembly		N/A	N/A				
Columns Supporting Floors		N/A	N/A				
Roof Construction Including supporting beams and joists		0	0				
Roof Ceiling Assembly		0	0				
Columns Supporting Roof		0	0				
Shaft Enclosures - Exit		N/A	N/A				
Shaft Enclosures - Other		N/A	N/A				
Corridor Separation		N/A	N/A				
Emergency-Escape Barrier Separation		2HR	2HR	G-103	U423		
Party-Fire Wall Separation		N/A	N/A				
Smoke Barrier Separation		N/A	N/A				
Smoke Partition		N/A	N/A				
Tenant Dwelling Unit/Sleeping Unit Separation		1HR	1HR	G-103	U423		
Incidental Use Separation		N/A	N/A				

0 = Indicates section number permitting reduction

PERCENTAGE OF WALL OPENING CALCULATIONS

FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENING PROTECTION (TABLE 705.3)	ALLOWABLE AREA (%)	ACTUAL SHOWS ON PLANS (%)
NORTH >30'	NS-UP	NO LIMIT	33%
EAST >30'	NS-UP	NO LIMIT	0%
WEST >30'	NS-UP	NO LIMIT	0%
SOUTH >30'	NS-UP	NO LIMIT	36%

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: ☒ Yes ☐ No
Exit Signs: ☒ Yes ☐ No
Fire Alarm: ☒ Yes ☐ No Just water flow activation alarm bell or horn.
Smoke Detection System: ☒ Yes ☐ No
Carbon Monoxide Detection: ☒ Yes ☐ No

This building may be required to meet the requirements of Section 510 of the NC Fire Code for Emergency Responder Radio Coverage. Test and verify with the Fire Marshal and install a radio coverage system if required.

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: G-102

☐ Fire and/or smoke rated wall locations (Chapter 7)
☐ Assumed and real property line locations (if not on the site plan)
☐ Exterior wall opening area with respect to distance to assumed property lines (705.8)
☒ Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
☒ Occupant loads for each area
☒ Exit access travel distances (1017)
☐ Common paths of travel distances (Tables 1006.2.1 & 1006.2.2(1))
☐ Dead end lengths (1019.4)
☒ Clear exit widths for each exit door
☒ Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
☒ Actual occupant load for each exit door
☐ A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
☐ Location of doors with panic hardware (1010.1.10)
☐ Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
☐ Location of doors with electromagnetic egress locks (1010.1.9.9)
☐ Location of doors equipped with hold-open devices
☐ Location of emergency escape windows (1030)
☐ The square footage of each smoke compartment for Occupancy Classification 1-2 (407.5)
☐ The square footage of each fire area (202)
☐ Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS (SECTION 1107) N/A

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TOTAL UNITS REQUIRED	TOTAL UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

ACCESSIBLE PARKING (SECTION 1106)

TOTAL OFF-PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	TOTAL # OF PARKING SPACES PROVIDED	# OF ACCESSIBLE SPACES PROVIDED		TOTAL # ACCESSIBLE SPACES PROVIDED
			5' ACCESSIBLE SPACE	15' ACCESSIBLE SPACE	
GENERAL	5	THD	0	0	THD
TOTAL	8	THD	0	1	1

PLUMBING FIXTURE REQUIREMENTS (TABLE 3002.1)

FLOOR	WATERING DEVICES			URINALS	TOILETS			SINKS	DRINKING FOUNTAINS	SHOWERS
	MALE	FEMALE	UNSEX		MALE	FEMALE	UNSEX			
NEW			2	0		2	1	0	0	1
2007'd			1	0		1	0	0	0	1

SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, CSC, DPL, DHHS, etc., describe below)

ROSEBORO EMS RESCUE W DR MARTIN LUTHER KING JR BLVD ROSEBORO, NORTH CAROLINA



ANDREW W. PRIVETTE, ARCHITECT

1920 FT. BRAGG ROAD - FAYETTEVILLE, N.C. 28303 - (910) 485-8567



FEBRUARY 13, 2025

LIST OF DRAWINGS

GENERAL:

G-101 NORTH CAROLINA BUILDING CODE SUMMARY AND COVER SHEET
G-102 LIFE SAFETY PLAN AND WALL ASSEMBLIES

STRUCTURAL:

S-101 STRUCTURE NOTES
S-102 FOUNDATION PLAN AND FOOTING DETAILS



ARCHITECTURAL:

A-101 DIMENSIONED FLOOR PLAN, WINDOW AND DOOR SCHEDULES
A-102 REFLECTED CEILING PLAN
A-103 ROOF PLAN
A-201 EXTERIOR ELEVATION, ENLARGED PLANS AND INTERIOR ELEVATIONS
A-301 BUILDING SECTION, WALLS SECTIONS AND DETAILS



ELECTRICAL:

E.1 ELECTRICAL NOTES, SCHEDULES AND DETAILS
E.2 ELECTRICAL POWER PLAN
E.3 ELECTRICAL LIGHTING PLAN

MECHANICAL:

M.1 HVAC NOTES, DETAILS & SCHEDULES
M.2 HVAC PLAN



PLUMBING:

P.1 PLUMBING PLAN



ANDREW W. PRIVETTE, AIA

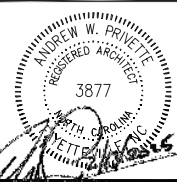
1920 FT. BRAGG ROAD

FAYETTEVILLE,

NORTH CAROLINA 28303

TELE. (910) 485-8567

d2bandrew@gmail.com



ROSEBORO RESCUE
W DOCTOR MARTIN LUTHER KING JR.
ROSEBORO NORTH CAROLINA

DATE	DESCRIPTION	BY	CHK
02/27/25	SPRINKLER AND OTHER UPDATES	AMP	
02/27/25	CODE SUMMARY UPDATE - ACCESSORY USE P2 - 2 HOUR SEPARATION	AMP	
02/27/25	DATE	DATE	

JOB CODE: 24ROSEBORO RESCUE

DRAWN BY: A. PRIVETTE

CHECKED BY: A. PRIVETTE

COPYRIGHT: DESIGNED TO BUILD

SHEET TITLE:

N.C. BUILDING CODE

SUMMARY &

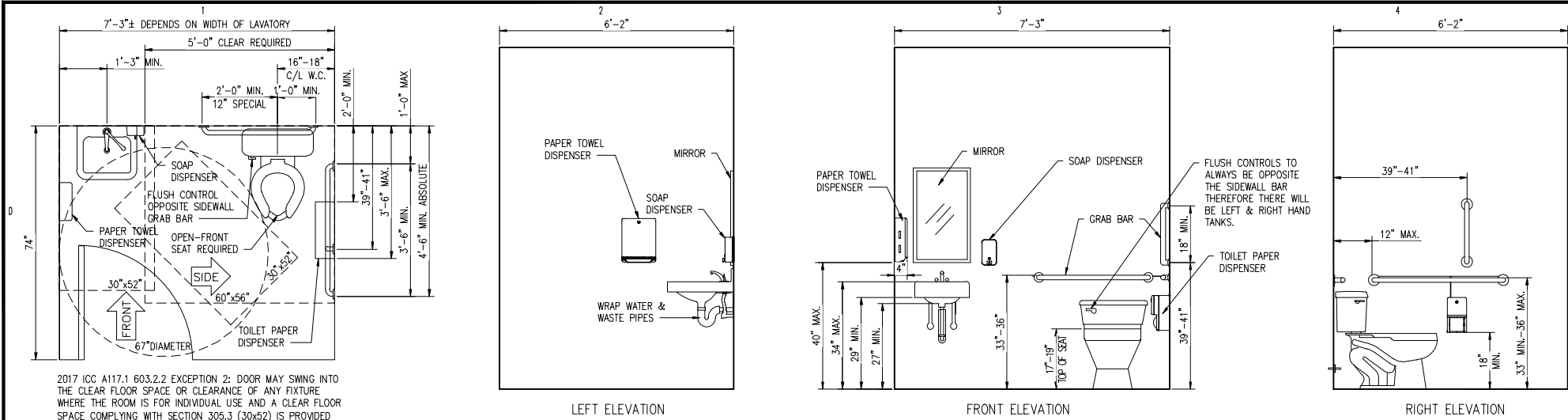
COVER SHEET

DATE: 02/13/2025

G-101

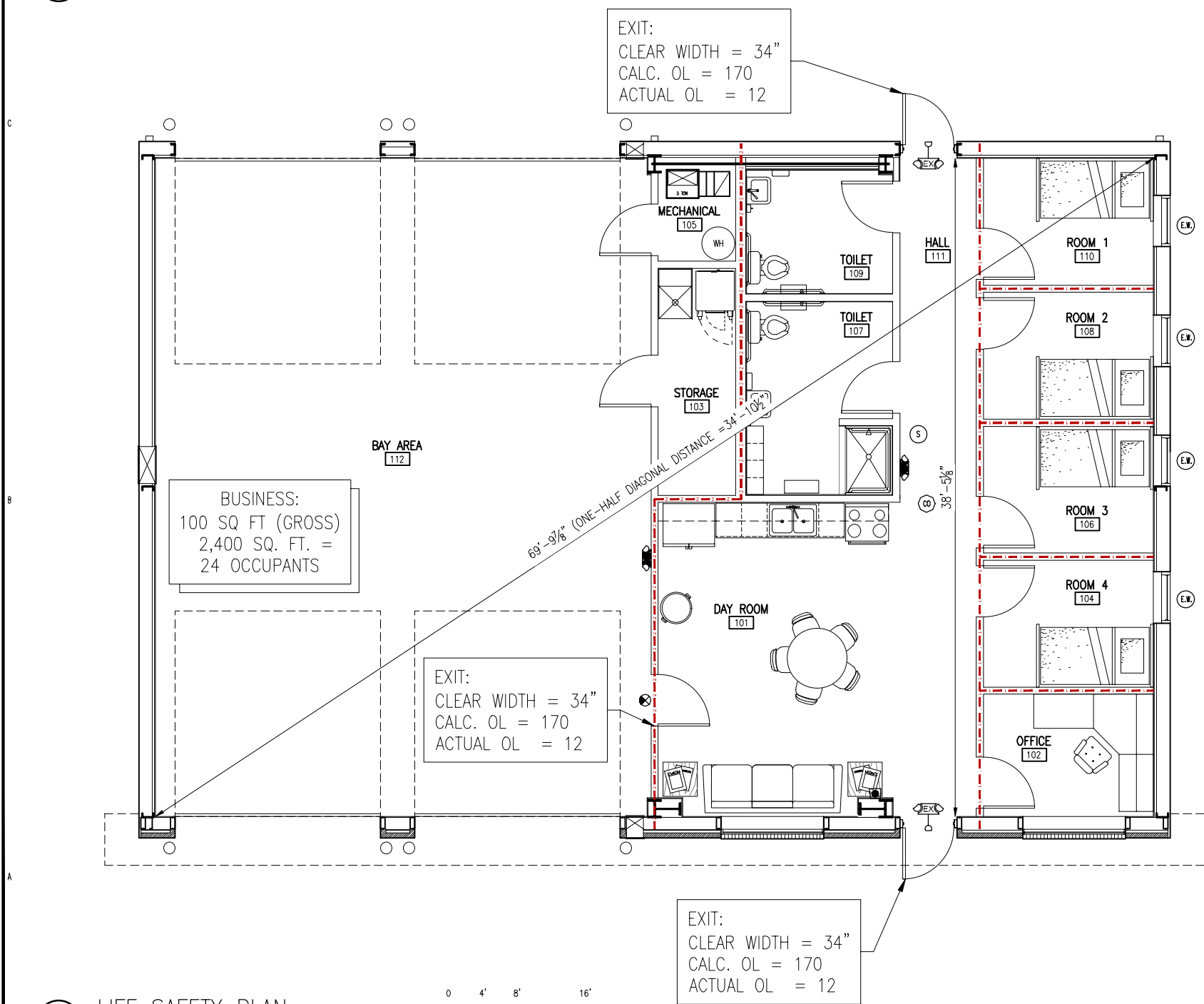
SHEET 1 OF 3

ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES. CONTRACTORS SHALL FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS, THE REQUIREMENTS OF THE DRAWINGS, GENERAL REQUIREMENTS AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING ON ALL CONTRACTORS AND TRADES. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES' USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND INSTALLED WITH THE WORK OF OTHER CONTRACTORS AND TRADES.



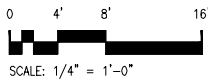
D1 ADA TOILET ELEVATIONS & PLAN

SCALE: 1/4" = 1'-0"



A1 LIFE SAFETY PLAN

SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

EXIT REQUIREMENTS

NUMBER AND ARRANGEMENT OF EXITS

FLOOR, ROOM AND/OR SPACE DESIGNATION	MINIMUM ² NUMBER OF EXITS		TRAVEL DISTANCE		ARRANGEMENT MEANS OF EGRESS ^{1,3} (SECTION 1006.2.2)	
	REQUIRED	SHOWN ON PLANS	ALLOWABLE TRAVEL DISTANCE (TABLE 1017.2)	ACTUAL TRAVEL DISTANCE SHOWN ON PLANS	REQUIRED DISTANCE BETWEEN EXIT DOORS	ACTUAL DISTANCE SHOWN ON PLANS
BUSINESS	2	2	200'	70'	35'	39'

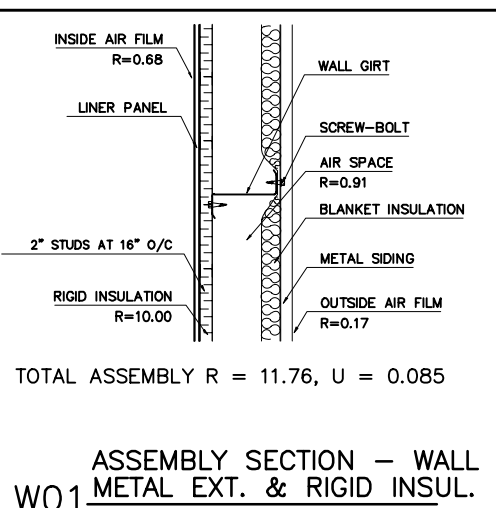
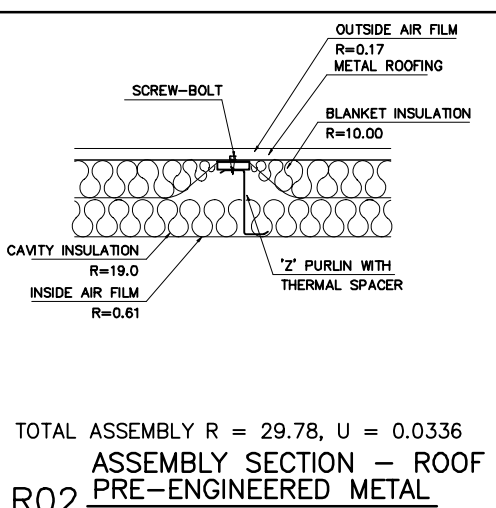
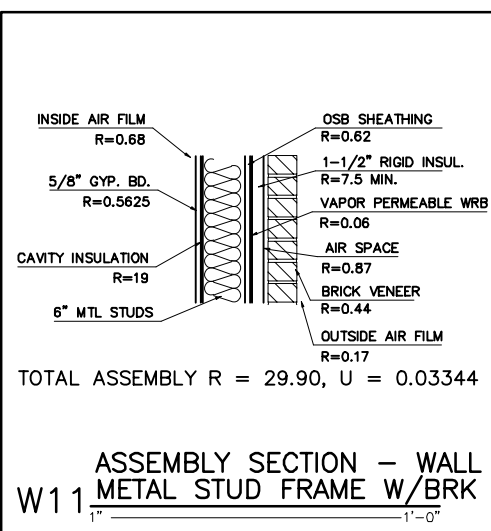
¹ CORRIDOR DEAD ENDS (SECTION 1020.4)

² SINGLE EXITS (SECTION 1006.2.1.1; SECTION 1022.2)

³ COMMON PATH OF EGRESS TRAVEL (SECTION 1029.8)

OCCUPANT LOAD AND EXIT WIDTH

USE GROUP AND/OR SPACE DESIGNATION	(A) AREA ¹ SQ. FT.	(B) AREA ¹ PER OCCUPANT	(A/B) NUMBER OF OCCUPANT	(C) EGRESS WIDTH PER OCCUPANT SECTION (1005.1)	EXIT WIDTH (IN) ^{2,3,4,5} REQUIRED WIDTH (SECTION 1005.1) (A/B)XC		ACTUAL WIDTH SHOWN ON PLANS	
				STAIR LEVEL	STAIR LEVEL	STAIR LEVEL	STAIR LEVEL	STAIR LEVEL
BUSINESS	2,400 SF	100	24	N/A	0.20	N/A	4.8	N/A
TOTAL INTERIOR OCCUPANTS: 24								



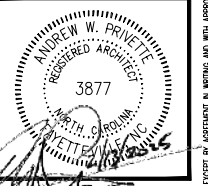
A6 ENERGY ASSEMBLY DETAILS

SCALE: N.T.S.

PERMITTING STAMP:

Designed to Build
Serving the Community

ANDREW W. PRIVETTE, AIA
1920 FT. BRAGG ROAD
FAYETTEVILLE
NORTH CAROLINA 28303
TELE. (910) 485-8567
d2bandrew@gmail.com



ROSEBORO RESCUE
W DOCTOR MARTIN LUTHER KING JR.
ROSEBORO NORTH CAROLINA

NO.	DATE	DESCRIPTION	BY	CHK
1	02/13/2025	SPRINKLER AND OTHER UPDATES	J. PAZ	
2	02/13/2025	CODE SUMMARY UPDATE - ACCESSORY USE P2 - 2 HOUR SEPARATION	A. PRIVETTE	
3				
4				
5				
6				
7				
8				
9				
10				

JOB CODE: 24ROSEBORO RESCUE
DRAWN BY: J. PAZ
CHECKED BY: A. PRIVETTE
COPYRIGHT: DESIGNED TO BUILD

SHEET TITLE:
LIFE SAFETY PLAN

DATE: 02/13/2025

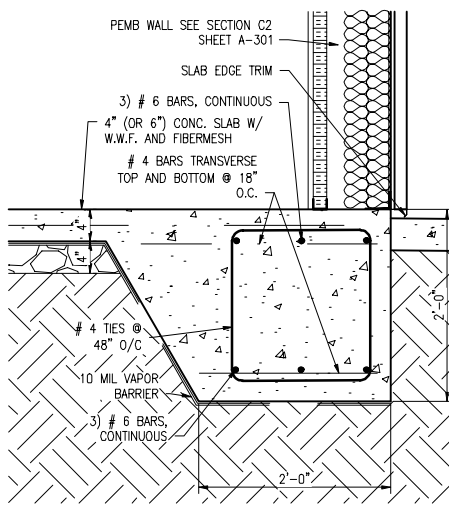
G-102

SHEET 2 OF 3

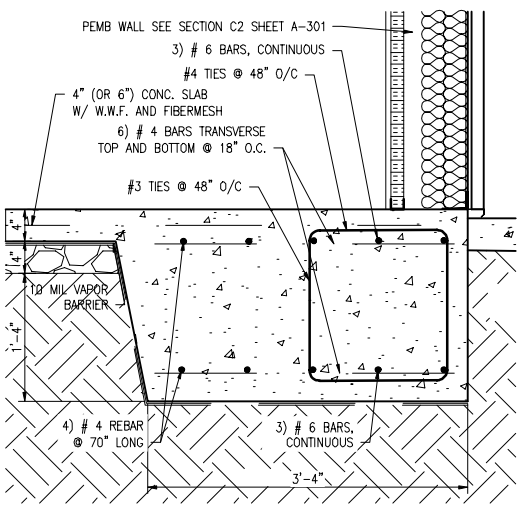
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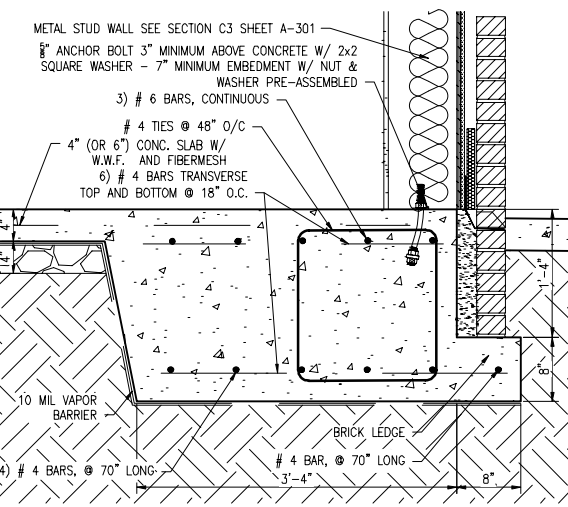
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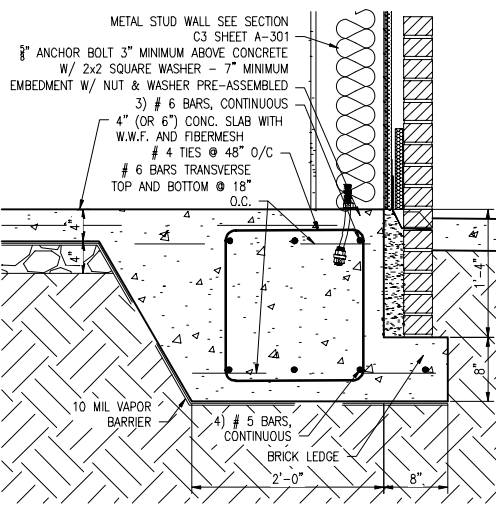
D1 FOOTING DETAIL
SCALE: 1" = 1'-0"



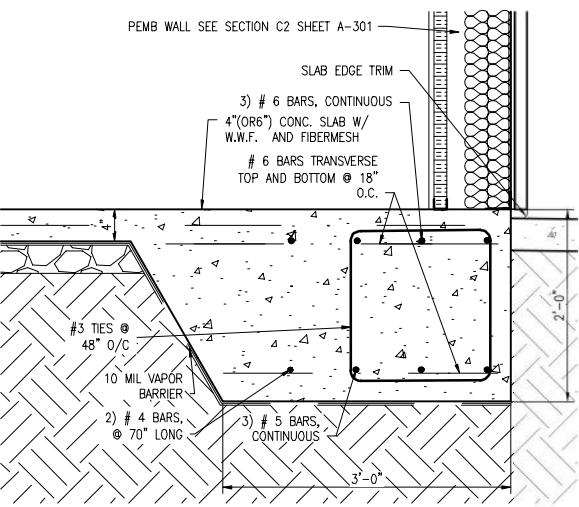
D2 FOOTING DETAIL
SCALE: 1" = 1'-0"



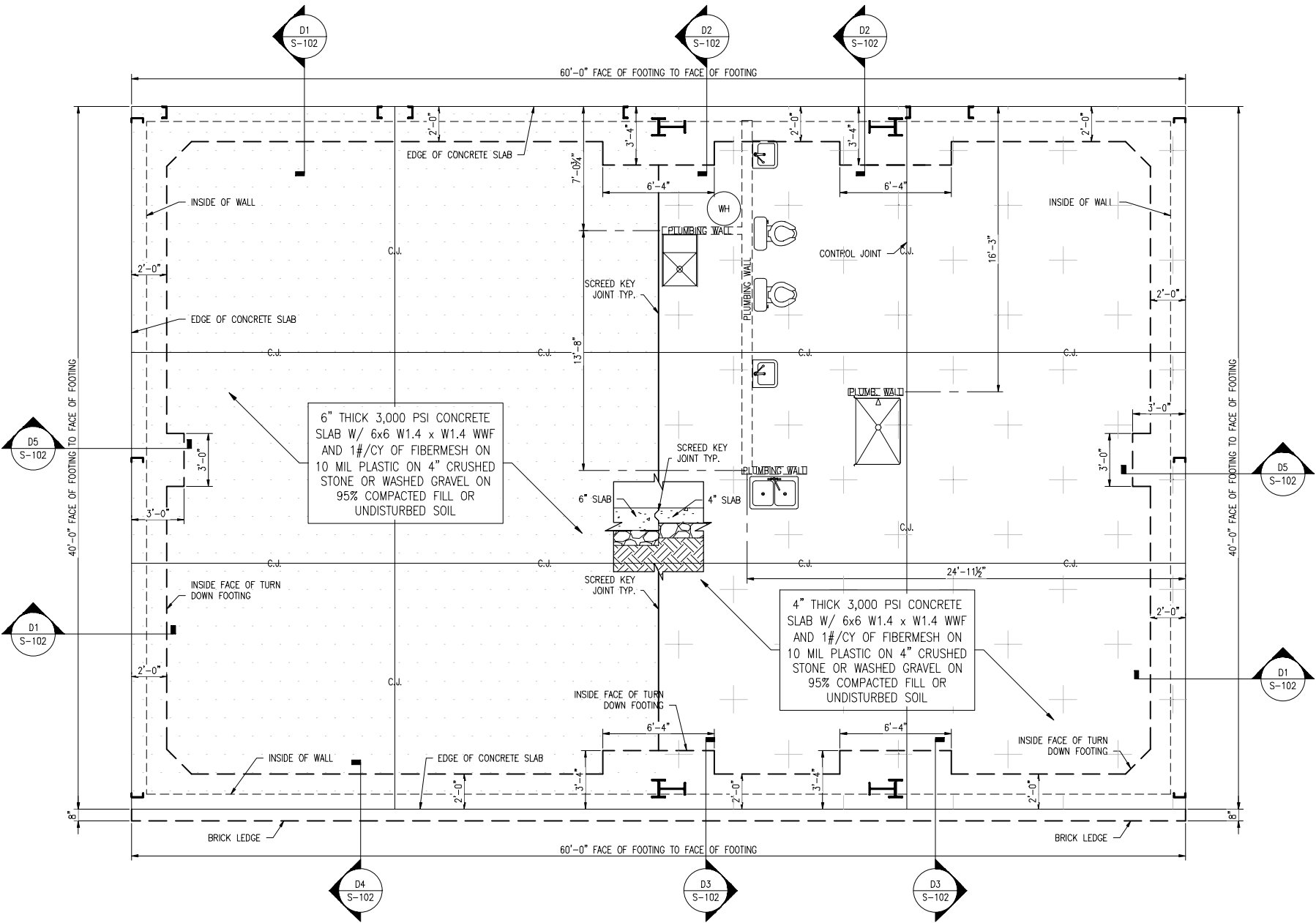
D3 FOOTING DETAIL
SCALE: 1" = 1'-0"



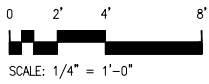
D4 FOOTING DETAIL
SCALE: 1" = 1'-0"



D5 FOOTING DETAIL
SCALE: 1" = 1'-0"



A1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



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Designed to Build
A Simple Approach

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d2bandrew@gmail.com



ROSEBORO RESCUE
W DOCTOR MARTIN LUTHER KING JR.
ROSEBORO NORTH CAROLINA

NO.	DATE	DESCRIPTION	BY	CHK.
REV 02	08/27/25	SPRINKLER AND OTHER UPDATES	J. PAZ	
REV 01	08/13/25	CODE SUMMARY UPDATE - ACCESSORY USE P2 - 2 HOUR SEPARATION	A. PRIVETTE	
MARK		DESCRIPTION		

JOB CODE: 24ROSEBORO RESCUE
DRAWN BY: J. PAZ
CHECKED BY: A. PRIVETTE
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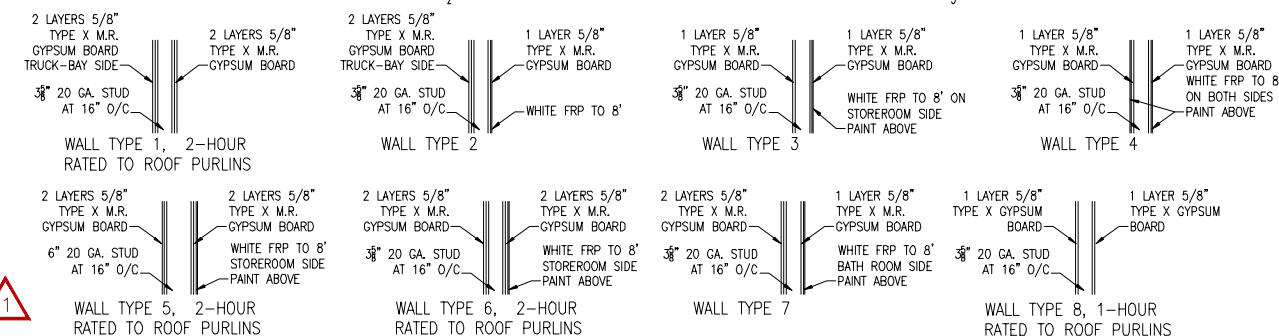
SHEET TITLE:
FOUNDATION PLAN
& FOOTING DETAILS

DATE: 02/13/2025

S-102
SHEET 2 OF 2

PERMITTING STAMP:

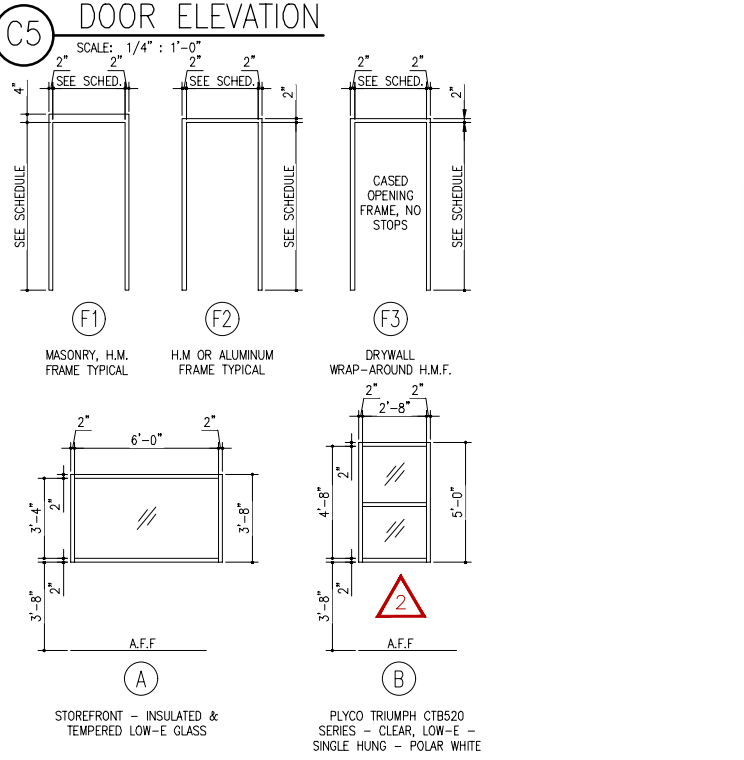
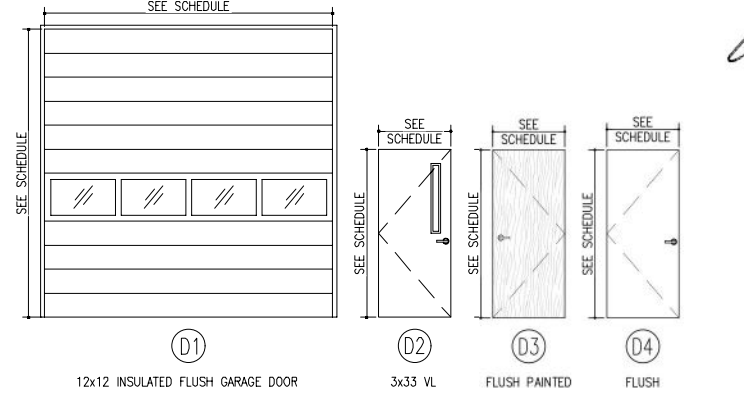
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D1 WALL TYPES
SCALE: NTS

DOOR AND FRAME SCHEDULE															REMARKS
NO.	TYPE	WIDTH	HT.	THICK	GLASS	DR. MAT.	CORE MAT.	FACE MAT.	DR. EL.	FRAME	DR. FIN.	FRAME	FIN.	H.W.	
001	NEW	3'-0"	6'-8"	1 1/4"	1/4" TEMPERED	H.M.	INSULATED	STEEL	D2	N/A	H.M.	STEEL	F2	PAINTED	3x33 VISION LITE
002	NEW	3'-0"	6'-8"	1 1/4"	1/4" TEMPERED	H.M.	INSULATED	STEEL	D2	N/A	H.M.	STEEL	F2	PAINTED	3x33 VISION LITE
003	NEW	12'-0"	12'-0"	2"	MFR	STEEL	INSULATED	STEEL	D1	N/A	ALUMN.	MFR.	MFR.	MFR.	RUBBER BOOT BY MFR.
004	NEW	12'-0"	12'-0"	2"	MFR	STEEL	INSULATED	STEEL	D1	N/A	ALUMN.	MFR.	MFR.	MFR.	RUBBER BOOT BY MFR.
005	NEW	12'-0"	12'-0"	2"	MFR	STEEL	INSULATED	STEEL	D1	N/A	ALUMN.	MFR.	MFR.	MFR.	RUBBER BOOT BY MFR.
006	NEW	12'-0"	12'-0"	2"	MFR	STEEL	INSULATED	STEEL	D1	N/A	ALUMN.	MFR.	MFR.	MFR.	RUBBER BOOT BY MFR.
101	NEW	3'-0"	6'-8"	1 1/4"	N/A	WOOD	SOLID	BIRCH	D3	20MIN.	H.M.	PAINT	F3	PAINTED	SMOKE SEALS
102	NEW	3'-0"	6'-8"	1 1/4"	N/A	WOOD	SOLID	BIRCH	D3	20MIN.	H.M.	PAINT	F3	PAINTED	SMOKE SEALS
103	NEW	3'-0"	6'-8"	1 1/4"	N/A	WOOD	SOLID	BIRCH	D3	20MIN.	H.M.	PAINT	F3	PAINTED	SMOKE SEALS
104	NEW	3'-0"	6'-8"	1 1/4"	N/A	WOOD	SOLID	BIRCH	D3	20MIN.	H.M.	PAINT	F3	PAINTED	SMOKE SEALS
105	NEW	3'-0"	6'-8"	1 1/4"	N/A	WOOD	SOLID	BIRCH	D3	20MIN.	H.M.	PAINT	F3	PAINTED	SMOKE SEALS
106	NEW	3'-0"	6'-8"	1 1/4"	N/A	WOOD	SOLID	BIRCH	D3	20MIN.	H.M.	PAINT	F3	PAINTED	SMOKE SEALS
107	NEW	3'-0"	6'-8"	1 1/4"	N/A	WOOD	SOLID	BIRCH	D3	20MIN.	H.M.	PAINT	F3	PAINTED	SMOKE SEALS
108	NEW	3'-0"	6'-8"	1 1/4"	N/A	WOOD	SOLID	BIRCH	D3	20MIN.	H.M.	PAINT	F3	PAINTED	SMOKE SEALS
109	NEW	3'-0"	6'-8"	1 1/4"	N/A	WOOD	SOLID	BIRCH	D3	20MIN.	H.M.	PAINT	F3	PAINTED	SMOKE SEALS
110	NEW	3'-0"	6'-8"	1 1/4"	N/A	WOOD	SOLID	BIRCH	D3	20MIN.	H.M.	PAINT	F3	PAINTED	SMOKE SEALS

P=PAINT SHEET H.M.= HOLLOW METAL INSUL=INSULATION L=LEFT HANDED LR=LEFT HAND REVERSE DA= DOUBLE ACTING
S=STAIN SHEET MFR=MANUFACTURER N/A=NOT APPLICABLE R=RIGHT HANDED RR=RIGHT HAND REVERSE



- HARDWARE SETS:**
- SET 1 : (EXTERIOR ENTRANCE / EXIT)
LOCKSET: SCHLAGE AL50PD-NP-626
HINGES: TA-2714 3 EACH 4.5 X 4.5 S.S. BALL BEARING
CLOSER: MCKINNEY 8301-BF-US26
WEATHER STRIPPING: NORTON SMOKE & FIRE SEALS ON HEAD AND JAMBS
EXT. DOOR THRESHOLD: NATIONAL GUARD ALUMINUM #896 OR AS APPROPRIATE FOR THE SILL CONDITION
- SET 2 : (PASSAGE)
LOCKSET: SCHLAGE AL10S-NP-626
HINGES: (3) TA-2714 4.5 X 4.5 S.S. BALL BEARING
SILencers: IVE S (3) SR64; GRAY
DOOR/HINGE STOP: GLYNN-JOHNSON WALL: 60W-US32D OR FLOOR: FB13-US26D
- SET 3 : (PRIVACY)
LOCKSET: SCHLAGE AL40S-NP-626
HINGES: (3) TA-2714 4.5 X 4.5 S.S. BALL BEARING
SILencers: IVE S (3) SR64; GRAY
DOOR/HINGE STOP: GLYNN-JOHNSON WALL: 60W-US32D OR FLOOR: FB13-US26D

PERMITTING STAMP:

A1 DIMENSIONED FLOOR PLAN
SCALE: 1/4" = 1'-0"

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ANDREW W. PRIVETTE
ARCHITECT
3877
NORTH CAROLINA

ROSEBORO RESCUE
W DOCTOR MARTIN LUTHER KING JR.
ROSEBORO NORTH CAROLINA

NO.	DATE	DESCRIPTION	BY	CHK.
REV. 1	03.15.20	WALL TYPES ADDED PER PRE-BID REQUEST	JPA	
REV. 2	05.27.25	SPRINKLER AND OTHER UPDATES	JPA	
REV. 3	06.11.25	CODE SUMMARY UPDATE - ACCESSORY USE P2 - 2 HOUR SEPARATION	JPA	
REV. 4	06.11.25	CODE SUMMARY UPDATE - ACCESSORY USE P2 - 2 HOUR SEPARATION	JPA	
REV. 5	06.11.25	CODE SUMMARY UPDATE - ACCESSORY USE P2 - 2 HOUR SEPARATION	JPA	

JOB CODE: 24ROSEBORO RESCUE
DRAWN BY: JPA
CHECKED BY: A. PRIVETTE
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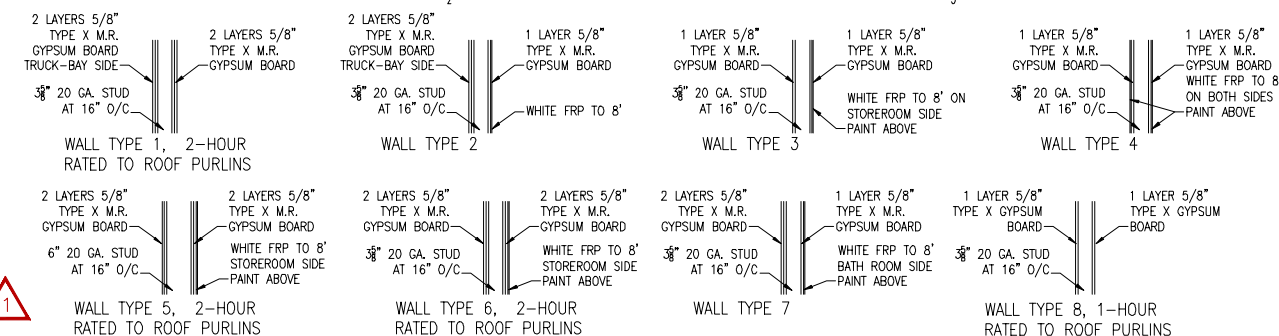
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DIMENSIONED FLOOR PLAN

DATE: 02/13/2025

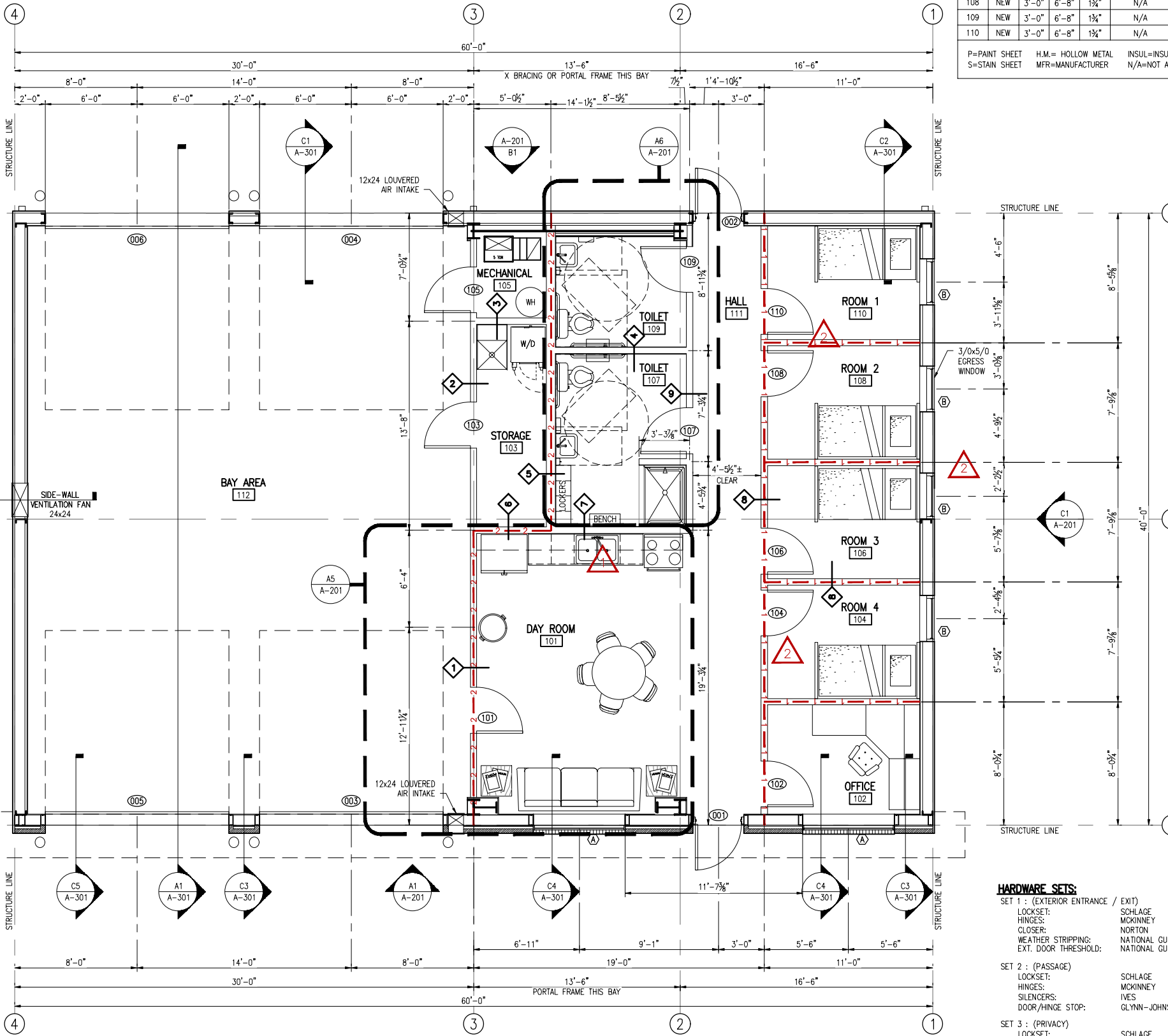
A-101
SHEET 1 OF 5

ROSEBORO RESCUE

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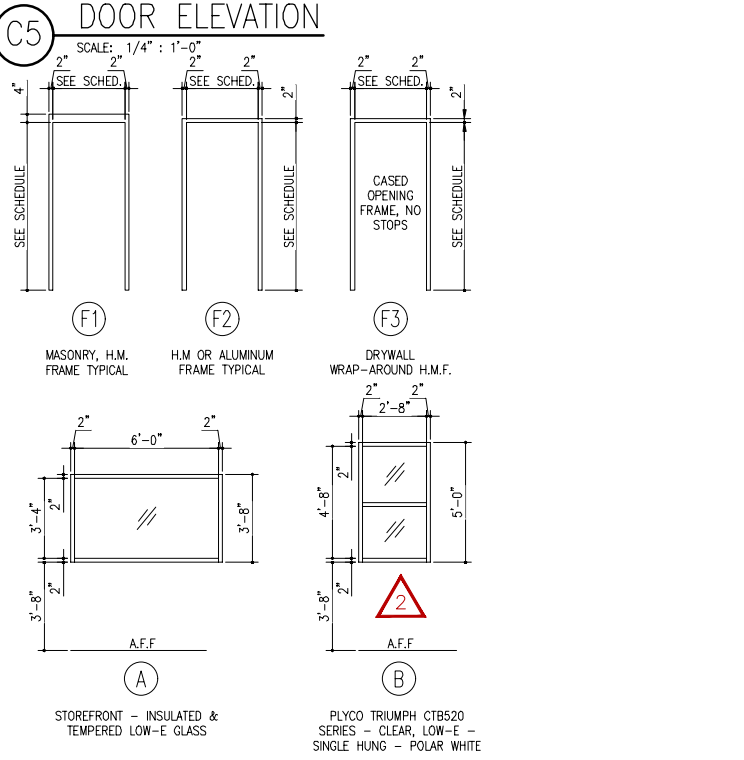
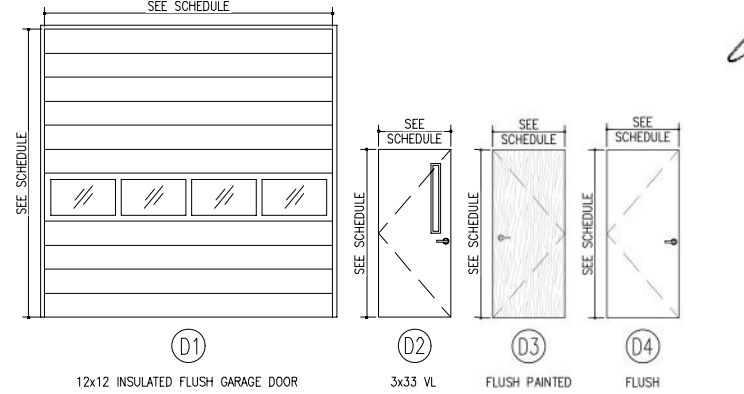
D1 WALL TYPES
SCALE: NTS



A1 DIMENSIONED FLOOR PLAN
SCALE: 1/4" = 1'-0"

DOOR AND FRAME SCHEDULE																	
NO.	TYPE	WIDTH	HT.	THICK	GLASS	DR. MAT.	CORE MAT.	FACE MAT.	DR. EL.	FRAME	DR. FIN.	FRAME	FRAME	FRAME	FRAME	H.W.	SET
001	NEW	3'-0"	6'-8"	1 1/4"	1/4" TEMPERED	H.M.	INSULATED	STEEL	D2	N/A	H.M.	STEEL	F1	PAINTED	RR	1	3x33 VISION LITE
002	NEW	3'-0"	6'-8"	1 1/4"	1/4" TEMPERED	H.M.	INSULATED	STEEL	D2	N/A	H.M.	STEEL	F2	PAINTED	RR	1	
003	NEW	12'-0"	12'-0"	2"	MFR	STEEL	INSULATED	STEEL	D1	N/A	ALUMN.	MFR.	MFR.	MFR.	MFR.	MFR.	RUBBER BOOT BY MFR.
004	NEW	12'-0"	12'-0"	2"	MFR	STEEL	INSULATED	STEEL	D1	N/A	ALUMN.	MFR.	MFR.	MFR.	MFR.	MFR.	
005	NEW	12'-0"	12'-0"	2"	MFR	STEEL	INSULATED	STEEL	D1	N/A	ALUMN.	MFR.	MFR.	MFR.	MFR.	MFR.	
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101	NEW	3'-0"	6'-8"	1 1/4"	N/A	WOOD	SOLID	BIRCH	D3	20 MIN.	H.M.	PAINT	F3	PAINTED	R	2	SMOKE SEALS
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104	NEW	3'-0"	6'-8"	1 1/4"	N/A	WOOD	SOLID	BIRCH	D3	20 MIN.	H.M.	PAINT	F3	PAINTED	RR	2	SMOKE SEALS
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DOOR/HINGE STOP: GLYNN-JOHNSON WALL: 60W-US32D OR FLOOR: FB13-US26D
- SET 3 : (PRIVACY)
LOCKSET: SCHLAGE AL40S-NP-626
HINGES: (3) TA-2714 4.5 X 4.5 S.S. BALL BEARING
SILENCERS: IVE S (3) SR64; GRAY
DOOR/HINGE STOP: GLYNN-JOHNSON WALL: 60W-US32D OR FLOOR: FB13-US26D

PERMITTING STAMP:

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REGISTERED ARCHITECT
NORTH CAROLINA
NO. 3877

ROSEBORO RESCUE
W DOCTOR MARTIN LUTHER KING JR.
ROSEBORO NORTH CAROLINA

NO.	DATE	DESCRIPTION	BY	CHK.
REV. 1	03.16.20	WALL TYPES ADDED PER PRE-BID REQUEST	JPA	
REV. 2	06.27.25	SPRINKLER AND OTHER UPDATES	JPA	
REV. 3	08.13.25	CODE SUMMARY UPDATE - ACCESSORY USE P2 - 2 HOUR SEPARATION	JPA	
REV. 4	08.13.25	CODE SUMMARY UPDATE - ACCESSORY USE P2 - 2 HOUR SEPARATION	JPA	
REV. 5	08.13.25	CODE SUMMARY UPDATE - ACCESSORY USE P2 - 2 HOUR SEPARATION	JPA	

JOB CODE: 24ROSEBORO RESCUE
DRAWN BY: JPA
CHECKED BY: A. PRIVETTE
DESIGNED TO BUILD

SHEET TITLE:
DIMENSIONED FLOOR PLAN

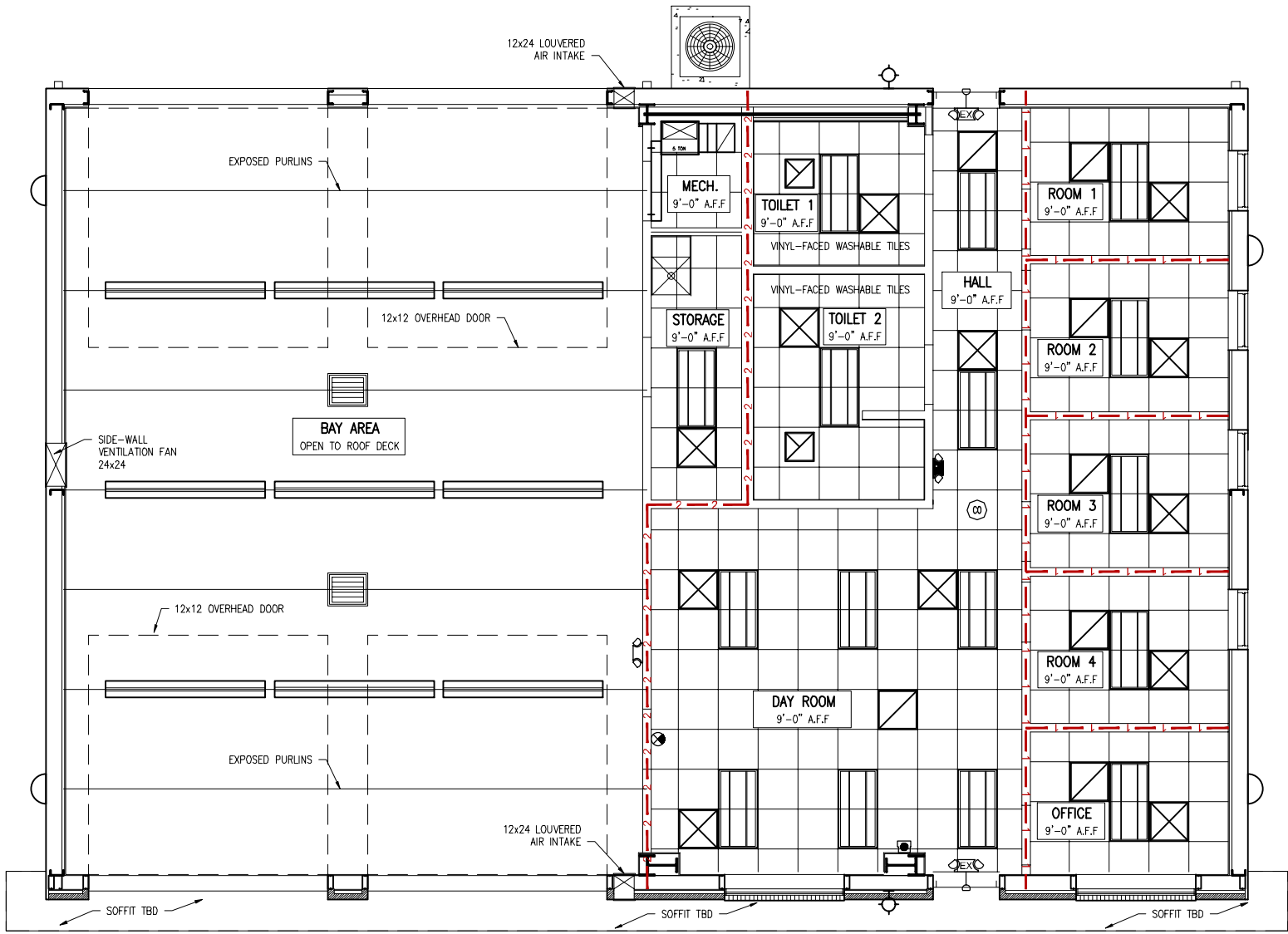
DATE: 02/13/2025

A-101
SHEET 1 OF 5

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REFLECTED CEILING PLAN LEGEND

- 2'X4' LAY-IN LED
- 2'X2' LAY-IN LED
- 96" LED LOW BAY LIGHT
- WALL MOUNTED LIGHT FIXTURE
- WALL SCONCE LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- EXIT SIGN - SHADE AREA INDICATES FACE OF SIGN
- EMERGENCY LIGHT
- COMBINATION EXIT / EMERGENCY LIGHT
- EXHAUST FAN
- MECHANICAL SUPPLY GRILLE
- MECHANICAL RETURN GRILLE
- RADIANT HEATER



A1 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

0 4' 8' 16'
SCALE: 1/4" = 1'-0"



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ROSEBORO RESCUE
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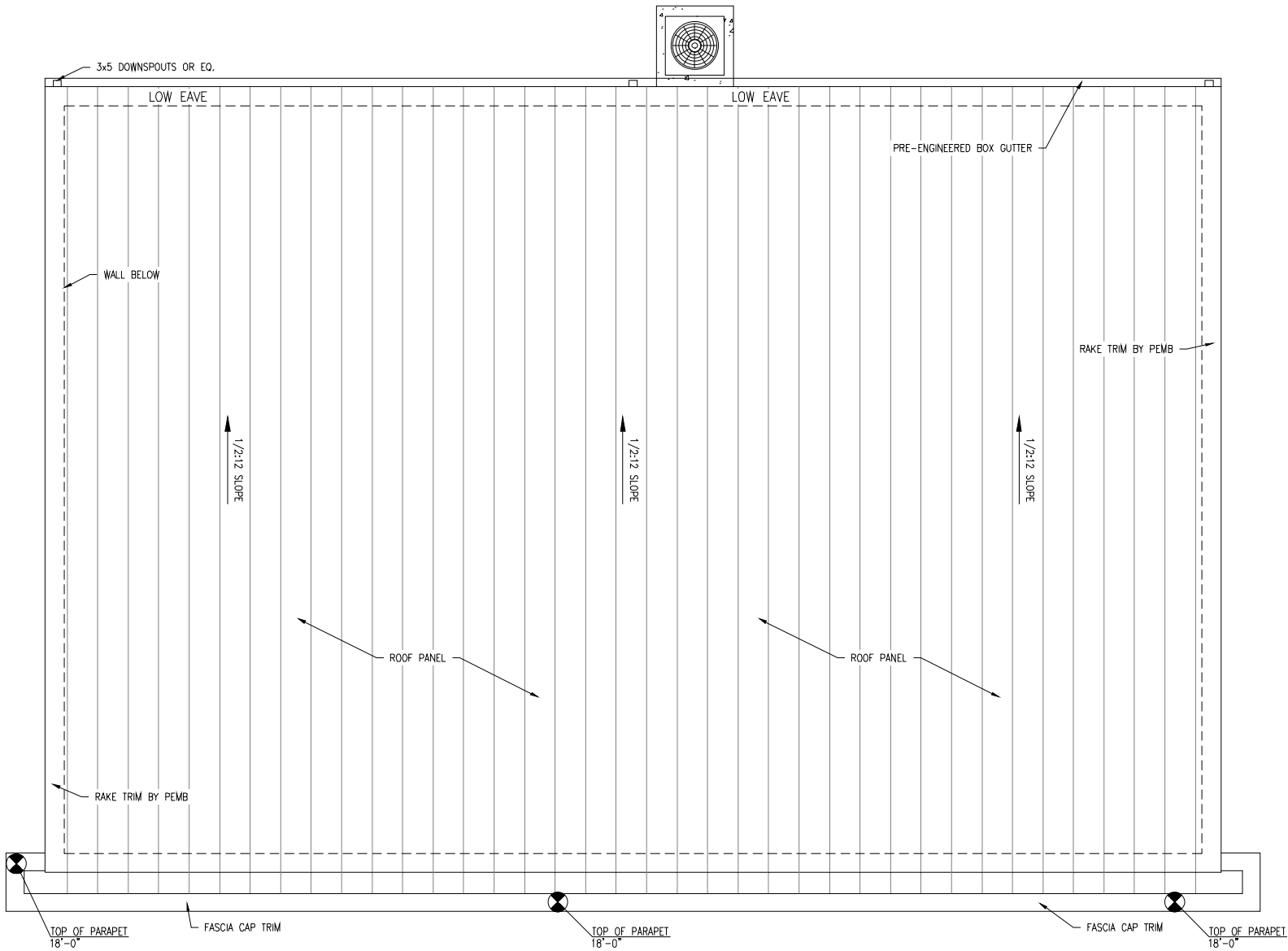
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REV 02	02/27/25	SPRINKLER AND OTHER UPDATES	AMP	AMP
REV 01	02/13/25	CODE SUMMARY UPDATE - ACCESSORY USE P2 - 2 HOUR SEPARATION	AMP	AMP
MARK		DESCRIPTION		

JOB CODE: 24ROSEBORO RESCUE
DRAWN BY: J. PAZ
CHECKED BY: A. PRIVETTE
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SHEET TITLE:
REFLECTED CEILING PLAN

DATE: 02/13/2025

A-102
SHEET 2 OF 5



A1 ROOF PLAN
SCALE: 1/4" = 1'-0"

0 4' 8' 16'
SCALE: 1/4" = 1'-0"



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REV	DATE	DESCRIPTION
01	02/13/25	CODE SUMMARY UPDATE - ACCESSORY USE P2 - 2 HOUR SEPARATION
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07	02/13/25	DATE
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15	02/13/25	DATE
16	02/13/25	DATE
17	02/13/25	DATE
18	02/13/25	DATE
19	02/13/25	DATE
20	02/13/25	DATE

JOB CODE:24ROSEBORO RESCUE
DRAWN BY: J. PAZ
CHECKED BY: A. PRIVETTE
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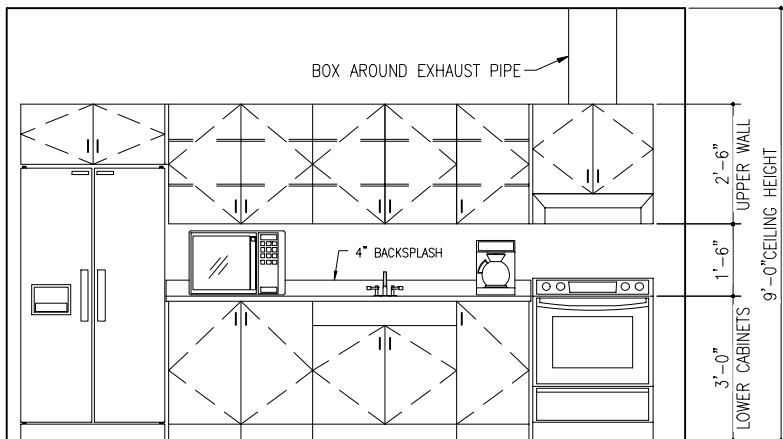
SHEET TITLE:
ROOF PLAN

DATE: 02/13/2025

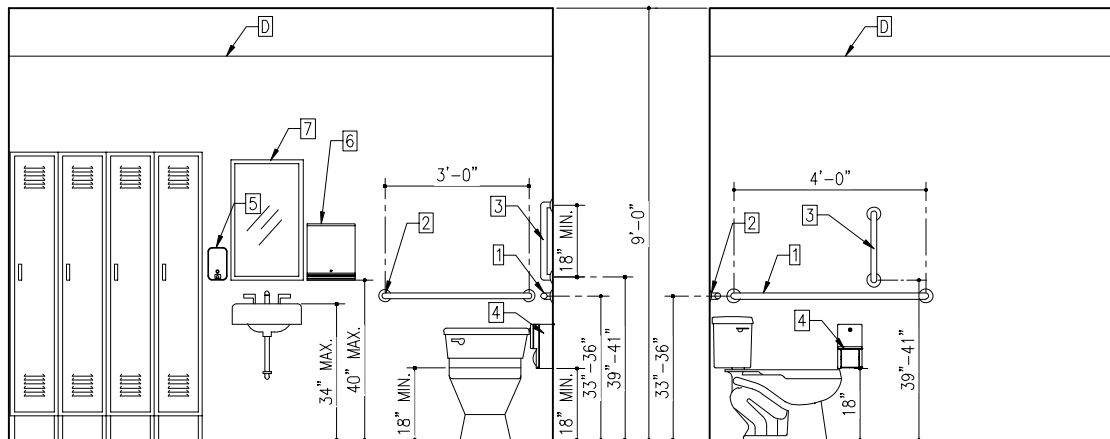
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SHEET 3 OF 5

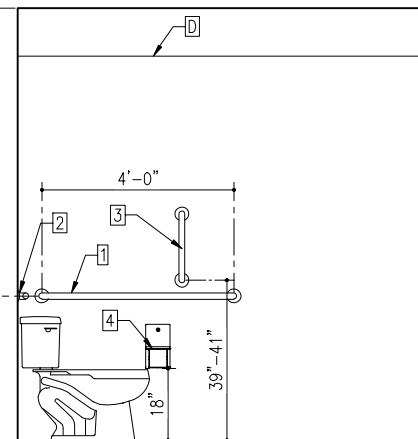
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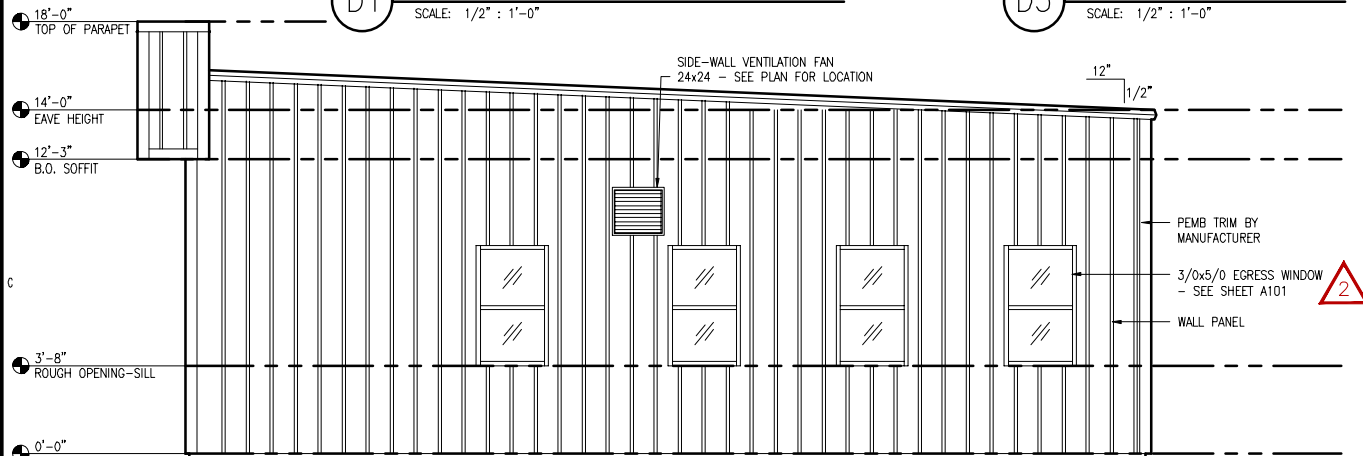
D1 KITCHEN INTERIOR ELEVATION
SCALE: 1/2" : 1'-0"



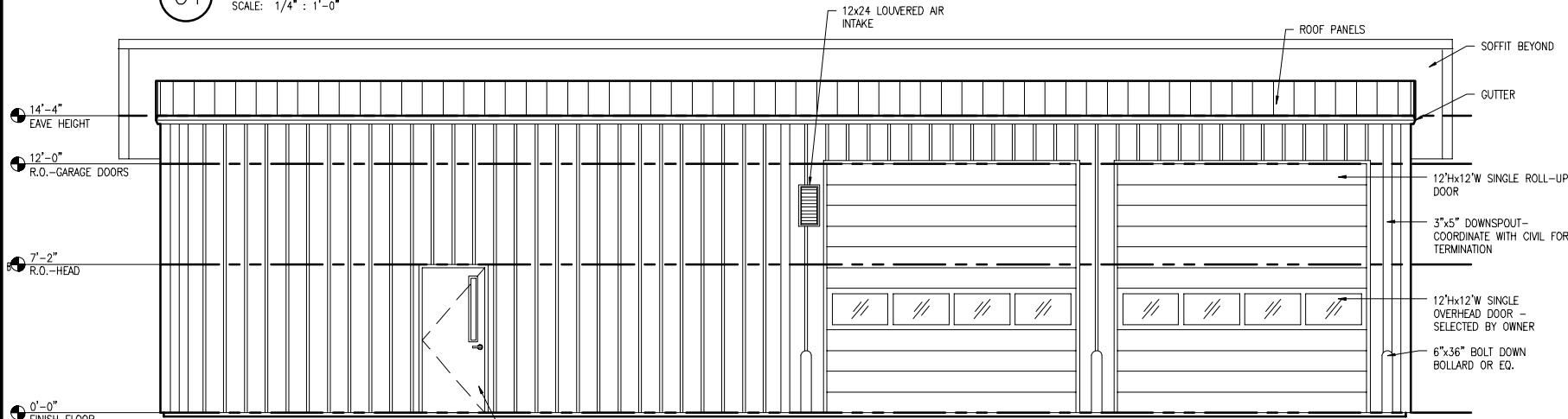
D3 TOILET ELEVATION
SCALE: 1/2" : 1'-0"



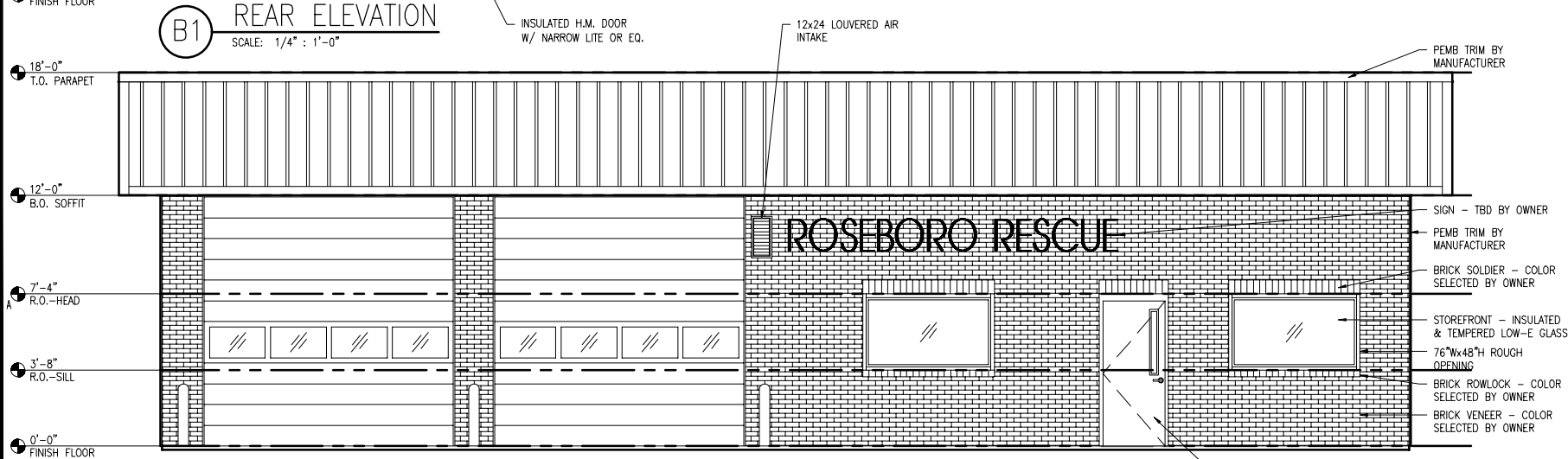
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SCALE: 1/2" : 1'-0"



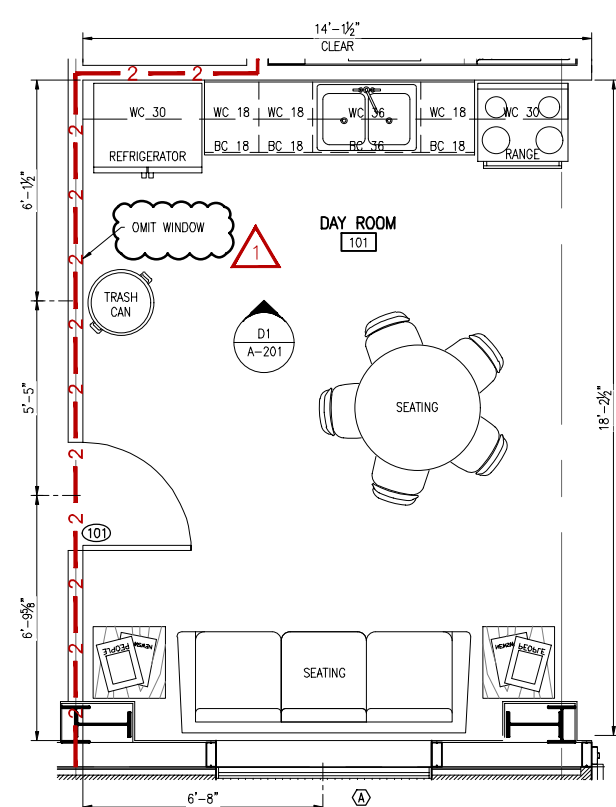
C1 SIDE ELEVATIONS
SCALE: 1/4" : 1'-0"



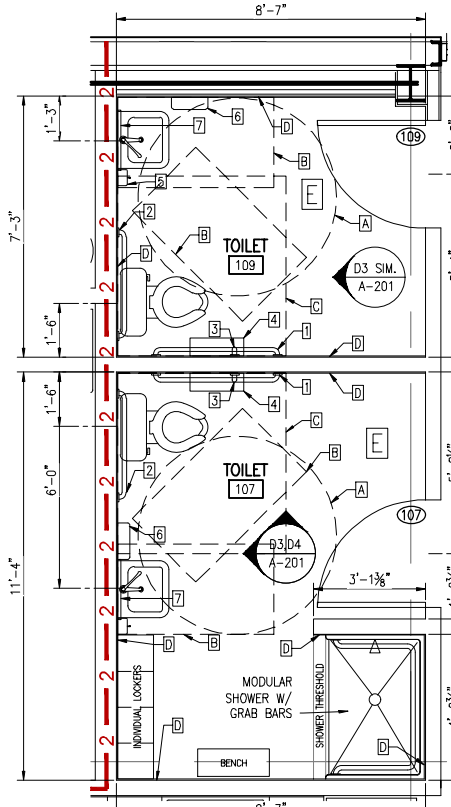
B1 REAR ELEVATION
SCALE: 1/4" : 1'-0"



A1 FRONT ELEVATION
SCALE: 1/4" : 1'-0"



A5 ENLARGED KITCHEN PLAN
SCALE: 3/8" : 1'-0"



A6 ENLARGED RESTROOM PLAN
SCALE: 3/8" : 1'-0"

TOILET ACCESSORY SCHEDULE				
TAG	FIXTURE	SIZE	MOUNT. HT. A.F.F.	FINISH
1	42" GRAB BAR	1 1/4" Ø 42" LONG	33"-36"	STAINLESS STEEL
2	36" GRAB BAR	1 1/4" Ø 36" LONG	33"-36"	STAINLESS STEEL
3	18" VERT GRAB BAR	1 1/4" Ø 18" LONG	39"-41"	STAINLESS STEEL
4	TOILET PAPER DISPENSER	6 1/8" H 12 5/16" W	Ø @ 19"	STAINLESS STEEL
5	SOAP DISPENSER	8 1/8" H 4 3/4" W	40"-48"	STAINLESS STEEL
6	PAPER TOWEL DISPENSER	28" H 14" W	40"-48"	STAINLESS STEEL
7	FRAMED MIRROR	20" W 30" H	40" MAX	STAINLESS STEEL
8	URINAL PARTITION	18"x48"	12"	TBD
A	ADA TURNING CIRCLE	67"Ø	N/A	N/A
B	ADA CLEAR FLOOR SPACE	48"x30"	N/A	N/A
C	ADA CLEAR FLOOR SPACE	60"x56"	N/A	N/A
D	FRP OR EQ.	4'x8' SHEETS	8'	WHITE, PEBBLE
E	SHEET VINYL FLOORING AND FLASH BASE	PER MFR.	6"BASE HT.	PER MFR.

ROSEBORO RESCUE
W DOCTOR MARTIN LUTHER KING JR.
ROSEBORO NORTH CAROLINA

DESIGNED TO BUILD
Service Contract

ANDREW W. PRIVETTE, AIA
1920 FT. BRAGG ROAD
FAYETTEVILLE
NORTH CAROLINA 28303
TELE. (910) 485-8567
d2bandrew@gmail.com



ROSEBORO RESCUE
W DOCTOR MARTIN LUTHER KING JR.
ROSEBORO NORTH CAROLINA

JOB CODE: 24ROSEBORO RESCUE
DRAWN BY: J. PAZ
CHECKED BY: A. PRIVETTE
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DATE	DESCRIPTION	MARK	DATE	DESCRIPTION	MARK
REV 01	08/18/24	WALL TYPES ADDED PER PRE-BID REQUEST	REV 02	08/27/25	SPRINKLER AND OTHER UPDATES
REV 03	09/11/25	CODE SUMMARY UPDATE - ACCESSORY USE P2 - 2 HOUR SEPARATION	REV 04	09/11/25	CODE SUMMARY UPDATE - ACCESSORY USE P2 - 2 HOUR SEPARATION

JOB CODE: 24ROSEBORO RESCUE
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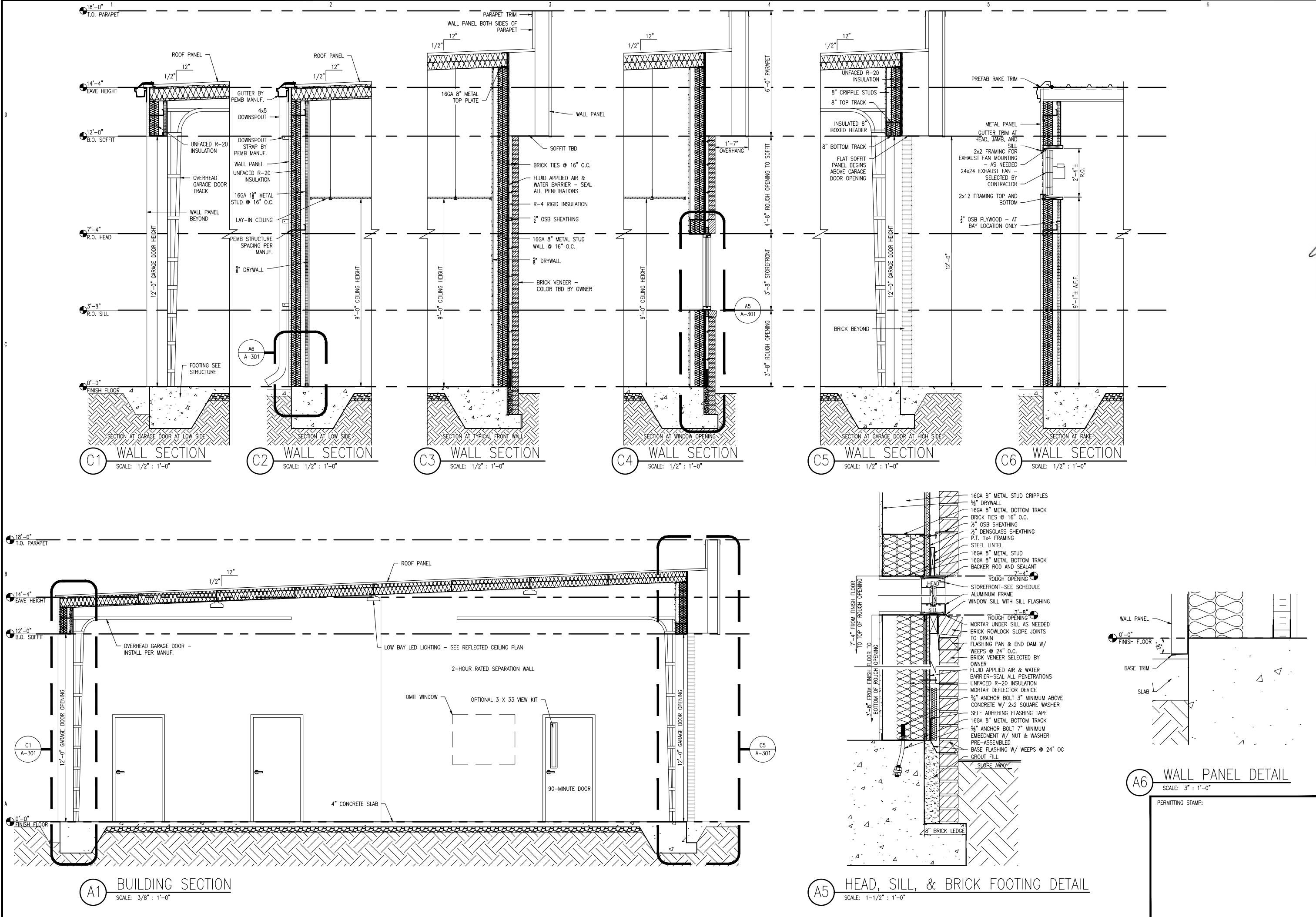
SHEET TITLE:
EXTERIOR ELEVATIONS,
INTERIOR ELEVATIONS &
ENLARGED FLOOR PLANS

DATE: 02/13/2025

A-201
SHEET 4 OF 5

EACH CONTRACTOR IS REQUIRED TO INCLUDE ALL MINOR ITEMS, WHETHER OR NOT SHOWN ON PLANS, AS REQUIRED BY CODE AND FOR WORKING SYSTEMS, IN INITIAL COST OF WORK, AND AT NO ADDITIONAL COST TO THE OWNER. ANY DEVIATIONS FROM THESE DRAWINGS AND SPECIFICATIONS BY THE OWNER OR CONTRACTOR MUST BE APPROVED BY THE ARCHITECT IN WRITING AND PRIOR TO CONSTRUCTION. COPYRIGHT © ALL RIGHTS RESERVED BY DESIGNED TO BUILD. NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES. CONTRACTORS SHALL FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS, THE REQUIREMENTS OF THE DRAWINGS, GENERAL REQUIREMENTS AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING ON ALL CONTRACTORS AND TRADES. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES' USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND INSTALLED WITH THE WORK OF OTHER CONTRACTORS AND TRADES.



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NORTH CAROLINA
FAYETTEVILLE

ROSEBORO RESCUE
W DOCTOR MARTIN LUTHER KING JR.
ROSEBORO NORTH CAROLINA

REV	DATE	DESCRIPTION	BY	CHK
01	02.13.25	CODE SUMMARY UPDATE - ACCESSORY USE P2 - 2 HOUR SEPARATION	JPAZ	
02				
03				
04				
05				
06				
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20				

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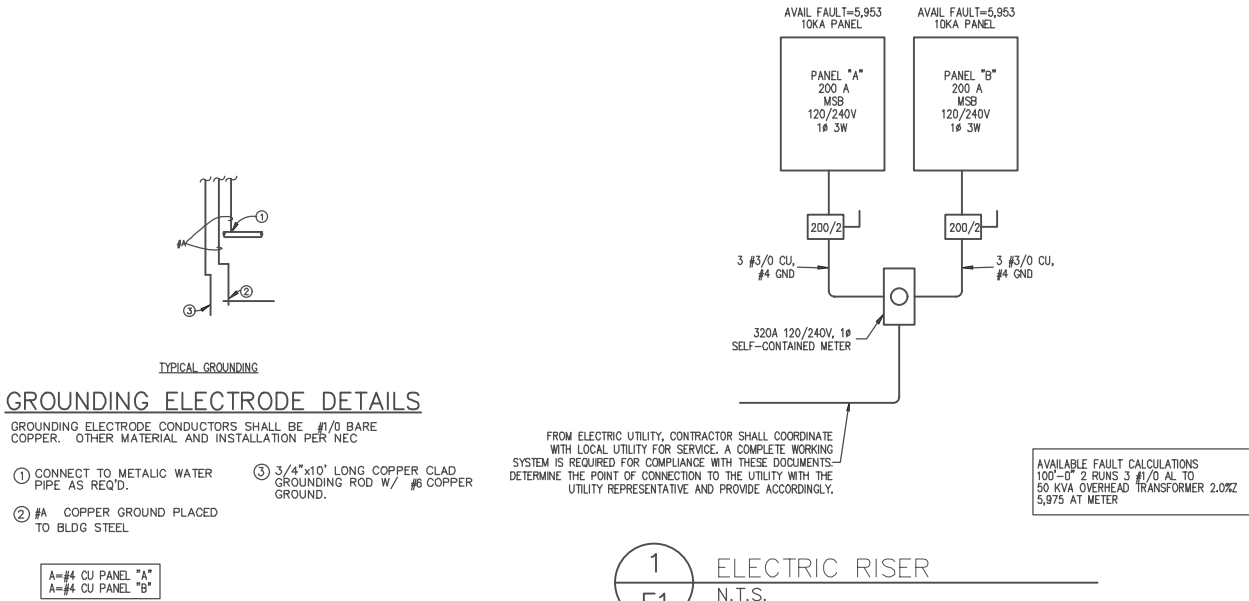
SHEET TITLE:
BUILDING SECTION & WALL SECTIONS

DATE: 02/13/2025

A-301
SHEET 5 OF 5

EACH CONTRACTOR IS REQUIRED TO INCLUDE ALL MINOR ITEMS, WHETHER OR NOT SHOWN ON PLANS, AS REQUIRED BY CODE AND FOR WORKING SYSTEMS, IN INITIAL COST OF WORK, AND AT NO ADDITIONAL COST TO THE OWNER ANY DEVIATIONS FROM THESE DRAWINGS AND SPECIFICATIONS BY THE OWNER OR CONTRACTOR MUST BE APPROVED BY THE ARCHITECT IN WRITING AND PRIOR TO CONSTRUCTION. COPYRIGHT © ALL RIGHTS RESERVED BY DESIGNED TO BUILD. NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

1 2 3 4 5 6



ELECTRICAL SYMBOL LIST			
○	LIGHT FIXTURE INCANDESCENT OR H.I.D.	⦿	EXIT LIGHT FIXTURE
○	LIGHT FIXTURE WALL MOUNTED	NL	NIGHT LIGHT
□	FLOURESCENT LIGHT FIXTURE	⚡	EMERGENCY LIGHT W/ 90 MIN. BATTERY
Ⓢ	DUPLEX RECEPTACLE (+18")	Ⓢ	GFI TYPE RECEPTACLE
Ⓢ	ISOLATED GROUND TYPE D.R.	D.R.	DUPLEX RECEPTACLE
(+0")	CENTERLINE HEIGHT OF DEVICE BOX ABOVE FINISH FLOOR		
S	SINGLE POLE SWITCH (+42")	SW	SW. WITH PILOT LIGHT
S ₃	3-WAY SWITCH (+42")	SW ₃	3-WAY SW. W/ PILOT LIGHT(+42")
S ₄	4-WAY SWITCH (+42")	Ⓢ	SPECIAL PURPOSE OUTLET
S ₃	KEYED SINGLE POLE SWITCH (+42")	S ₃	KEYED THREE-WAY SWITCH
□	N/F DISCONNECT SWITCH	Ⓢ	FUSED DISCONNECT SWITCH
RT	RAINTIGHT (NEMA 3R)	(60/50/3)	AMP SIZE/FUSE SIZE/POLES
Ⓢ	STARTER	Ⓢ	MANUAL STARTER SWITCH
Ⓢ	MOTOR SYMBOL	Ⓢ	MANUAL STARTER SWITCH W/ PILOT LIGHT
Ⓢ	RELAY	Ⓢ	PHOTOCONTROL
Ⓢ	PUSHBUTTON OR CONTROL STATION	Ⓢ	JUNCTION BOX (J.B.)
◁	TELEPHONE O.B. (3/4" C. TO CEILING SPACE)	O.B.	OUTLET BOX
◁	DATA O.B. (3/4" C. TO CEILING SPACE)	Ⓢ	CHILD-PROOF
◁	TELEPHONE & DATA O.B. (3/4" C. TO CEILING SPACE)		
□	PLAN NOTE SYMBOL	WP	WEATHERPROOF
C/B	CIRCUIT BREAKER	CTK.	CIRCUIT
---	CONCEALED CONDUIT (2#12 AWG AND APPROVED GROUND MINIMUM - TYPICAL)	C.	CONDUIT
---	CONDUIT BELOW FLOOR OR GRADE	---	CONDUIT EXPOSED
---	HOMERUN: NUMBER OF WIRES, PANEL DESIGNATION, CIRCUIT NUMBERS		
Ⓢ	BRANCH CIRCUIT PANELBOARD	Ⓢ	MAIN DISTRIBUTION PANEL
Ⓢ	QUAD RECEPTACLE	Ⓢ	CATV OUTLET
Ⓢ	ALARM OUTLET BOX (3/4" CONDUIT TO CEILING SPACE)		

CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY FOR SERVICE. A COMPLETE AND WORKING SYSTEM IS REQUIRED FOR COMPLIANCE WITH THESE DOCUMENTS. DETERMINE THE POINT OF CONNECTION TO THE UTILITY WITH THE UTILITY REPRESENTATIVE AND PROVIDE ACCORDINGLY FOR A COMPLETE WORKING SYSTEM.

WIRE AND CABLE SHALL BE INSULATED, TYPE THHN OR THHN, 600 VOLTS, WITH COPPER CONDUCTORS. CONDUCTOR SIZES NO. 8 AWG AND LARGER MAY BE STRANDED. CONDUCTORS SIZES NO. 10 AWG AND SMALLER MAY BE SOLID OR STRANDED. MC CABLE ACCEPTABLE.

EMT SHALL BE GALVANIZED STEEL TUBING, 1/2-INCH MINIMUM SIZE, EQUAL TO ELECTRUNITE BRAND OR APPROVED AND USED ONLY WITH HEXAGONAL ALL STEEL COMPRESSION FITTINGS.

PLASTIC CONDUIT SHALL BE RIGID, 3/4-INCH MINIMUM NON-METALLIC, HEAVY DUTY, HIGH IMPACT, POLYVINYLCHLORIDE (PVC), TYPE I WILL BE USED FOR CONCRETE ENCASEMENT. FITTINGS SHALL BE THE SAME MATERIALS AND MANUFACTURER AS THE PLASTIC CONDUIT.

FLEXIBLE METAL CONDUIT SHALL BE 1/2- INCH MINIMUM SINGLE STRIP, STEEL, HOT DIPPED GALVANIZED INSIDE AND OUTSIDE, MAXIMUM LENGTH 72 INCHES FOR LIGHTING AND 36" FOR MOTORS. FLEXIBLE METAL CONDUIT SHALL BE LIQUIDTIGHT OR WATERIGHT WITH PVC JACKET WHERE USED IN DAMP, WET OR OUTSIDE AREAS, AND LIQUIDTIGHT OR WATERIGHT CONNECTORS SHALL BE USED.

NO RECEPTACLES OR TEL. OUTLETS TO BE MOUNTED BACK TO BACK, KEEP AT LEAST 2 INCHES BETWEEN RECEPTACLES AND TEL. OUTLETS.

ALL CONDUCTOR SHALL BE COPPER WITH A MINIMUM SIZE OF #12 AWG EXCEPT FOR FIRE ALARM. THESE CONDUCTORS SHOULD COMPLY WITH NFPA.

CONTRACTOR SHALL ALIGN FIXTURES, SMOKE DETECTORS, CEILING DIFFUSERS ETC. AS REQUIRED TO PROVIDE A UNIFORM PRESENTATION. AT NO TIME WILL AN IONIZATION DETECTOR BE LOCATED WITHIN 3'-0" OF A SUPPLY OR RETURN AIR GRILLE.

CIRCUIT BREAKERS AND WIRE ARE SIZED FOR SPECIFIC EQUIPMENT. BEFORE ORDERING WIRE, BREAKERS AND CONDUIT FOR THIS PROJECT THE CONTRACTOR SHALL COORDINATE WITH THE OTHER CONTRACTORS ON THE JOB AND VERIFY THE ELECTRICAL DATA FOR THE EQUIPMENT WHICH WILL ACTUALLY BE INSTALLED, RECOMPUTING WIRE AND BREAKER SIZES IF REQUIRED BY THE NEC.

ALL CONDUIT TERMINATING IN THE CEILING CAVITIES IS TO BE LABELED.

ALL CONDUIT SHALL BE COLOR CODED WITH 1/2" WIDE TAPE, 10'-0" ON CENTER IN ACCORDANCE WITH STANDARD INDUSTRY PRACTICE.

THE MOUNTING HEIGHTS AND LOCATIONS OF ALL WALL MOUNTED OUTLETS AND JUNCTION BOXES SHALL BE REVIEWED AND COORDINATED WITH THE ARCHITECT AND OWNER, PRIOR TO INSTALLATION, FOR USE WITH ACTUAL EQUIPMENT.

EACH CONTRACTOR WILL PROVIDE HIS OWN SUPPORT OF ALL DEVICES AND EQUIPMENT PROVIDED BY HIM AND SHALL SUPPORT SUCH EQUIPMENT PER APPROVED GOVERNING CODES OR PER APPROVAL OF THE ENGINEER/ARCHITECT. UNACCEPTABLE WORKMANSHIP OR MATERIALS SHALL BE REPLACED AT THE REQUEST OF THE ENGINEER/ARCHITECT AT THE CONTRACTORS EXPENSE.

THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR FLOOR PLAN DIMENSIONS.

THE CONTRACTOR SHALL COORDINATE ANY AND ALL WORK WITH OTHER TRADES INVOLVED IN THIS PROJECT PRIOR TO THE INSTALLATION OF HIS EQUIPMENT, SO AS TO AVOID CONFLICTS DURING CONSTRUCTION AND ALLOW FOR OPTIMUM WORKING SPACE AND MAINTENANCE.

ALL FUSES DISCONNECT SWITCHES AND BREAKER SIZES SHOWN FOR MECHANICAL EQUIPMENT SHALL BE VERIFIED BEFORE PURCHASE AND INSTALLATION OF SAID EQUIPMENT WITH THE EQUIPMENT SUPPLIER AND MECHANICAL CONTRACTOR.

WHERE EQUIPMENT PENETRATES EXTERIOR WALL OR ROOF THEY SHALL BE PROPERLY SEALED WITH METHODS APPROVED BY THE ARCHITECT/ENGINEER.

ALL WORK IS TO BE DONE IN STRICT COMPLIANCE WITH THE LATEST VERSION OF THE NEC AND APPLICABLE STATE CODES

RECESSED FIXTURES INSTALLED IN RATED ASSEMBLIES SHALL BE INSTALLED WITH AN ENCLOSURE SO AS TO MAINTAIN THE RATING OF ASSEMBLY

1 ELECTRICAL NOTES
E1 N.T.S.

LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	LAMP	DESCRIPTION	MOUNTING	MODEL	INPUT WATTS	VOLTS	NOTE 1	TOTAL LUMENS
A		(1) LED	2x4 LED FLAT PANEL	RECESSED	METALUX 24CGTX-55-L840 OR MODEL MATCHING EXISTING FIXTURES	44.1	120V 1P 2W		5412
B		(1) LED	4'-0" WALL MTD. LED FIXTURE	WALL	METALUX 4BCLEDLD440SLUNVL840	42	120V 1P 2W		4000
C		(1) LED	8' LED LENSED STRIPLIGHT	SURFACE	EATON/METALUX 8TSNLEDLD59BSLLCUNV L840CD1U	75	120V 1P 2W		10101
D		(1) LED	LED WALL PACK	WALL	EATON/METALUX AXCS2ARL-GRF	21	120V 1P 2W	LISTED FOR WET LOCATIONS GLARE REDUCING LENS	2716
EMER		(2) 2.5W LED	EMER. LIGHT W/1.5 HR NI-CAD BATTERY	WALL/CEILING	LITHONIA ELM4L SP640L	3	120V 1P 2W		1280
EMER/EXIT		(2) 1.5W LED	QUANTUM LED EMERGENCY COMBO W/ TWIN REMOTE EXTERIOR HEADS	WALL/CEILING	Lithonia Lighting, LHQM LED R ELAT SD QWPLO309	4	120V 1P 2W		0
EXIT		(1) 2W LED	DIRECTIONAL LED EXIT LIGHT WITH 90 MINUTE BATTERY	WALL/CEILING	LITHONIA LQM S W 3 R MVOLT EL N	2	120V 1P 2W		0
F		(2) LED	WALL MOUNTED LED FLOOD FIXTURE	WALL	COOPER LANTERRA 9002 W2 RW LED 4080 F F BK L1	20	120V 1P 2W	LISTED FOR WET LOCATIONS	1970

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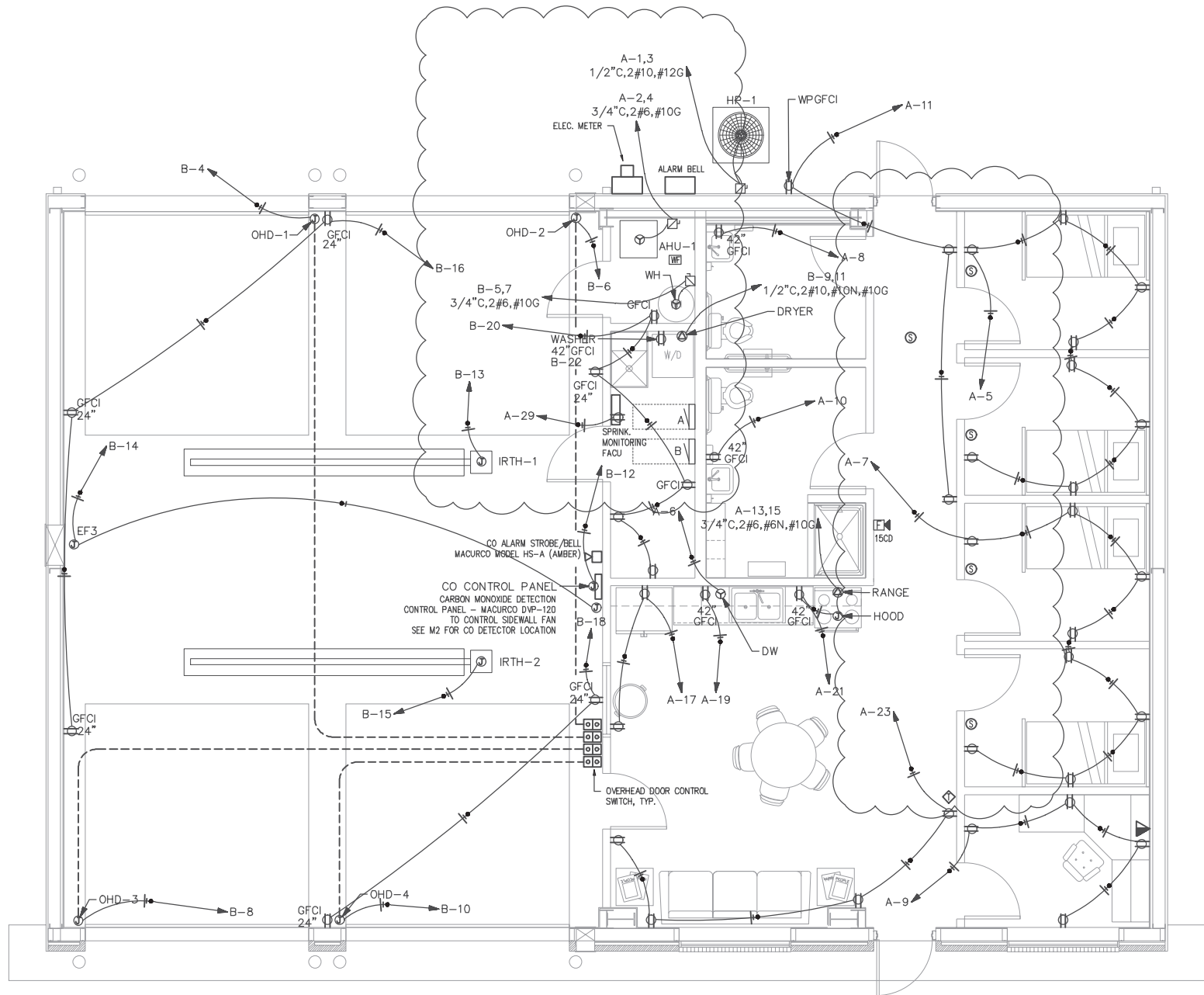
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SHEET TITLE:
ELECTRICAL NOTES,
SCHEDULES AND
DETAILS

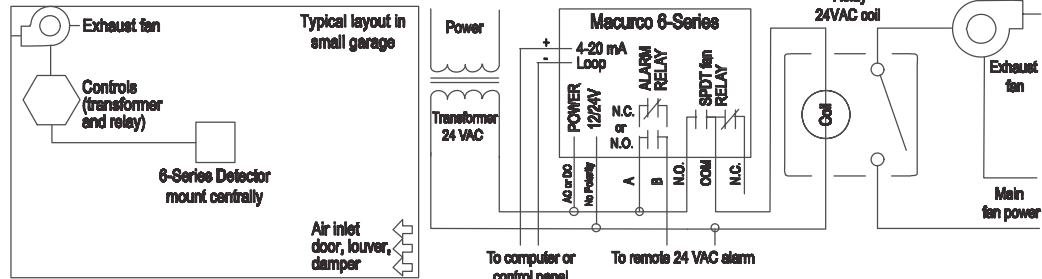
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1
SHEET OF



1 ELECTRICAL PLAN
1/4"=1'-0"
NFPA 13D SPRINK SYSTEM
HAS BEEN ADDED
SEE HORN, SMOKE DET, WATER FLOW DET

Typical layout in small garage



2 GAS DETECTION SCHEMATIC
NTS

B											
ROOM MOUNTING FLUSH FED FROM UTILITY NOTE				VOLTS 240/120V 2P 3W BUS AMPS 200 NEUTRAL 100%				A/C 10,000 MAIN BKR 200 LUGS STANDARD			
CKT #	CKT BKR	CIRCUIT DESCRIPTION	LOAD KVA		CKT #	CKT BKR	CIRCUIT DESCRIPTION	LOAD KVA			
			A	B				A	B		
1	20/2	SPACE	0		2	20/1	LIGHTING	0.541			
3				0	4	20/1	OHD-1		1.18		
5	50/2	WH	4.5		6	20/1	OHD-2	1.18			
7				4.5	8	20/1	OHD-3		1.18		
9	30/2	DRYER	2.5		10	20/1	OHD-4	1.18			
11				2.5	12	20/1	CO CONTROL PANEL		0.18		
13	20/1	IRTH-1	0.312		14	20/1	EF3	0.42			
15	20/1	IRTH-2		0.312	16	20/1	RECEPTACLE		0.54		
17	20/1	SPACE	0		18	20/1	RECEPTACLE	0.36			
19	20/1	SPACE		0	20	20/1	RECEPTACLE		0.9		
21	20/1	SPACE	0		22	20/1	WASHER	1.2			
23	20/1	SPACE		0	24	20/1	SPACE		0		
25	20/1	SPACE	0		26	20/1	SPACE	0			
27	20/1	SPACE		0	28	20/1	SPACE		0		
29	20/1	SPACE	0		30	20/1	SPACE	0			
31	20/1	SPACE		0	32	20/1	SPACE		0		
33	20/1	SPACE	0		34	20/1	SPACE	0			
35	20/1	SPACE		0	36	20/1	SPACE		0		
37	20/1	SPACE	0		38	20/1	SPACE	0			
39	20/1	SPACE		0	40	20/1	SPACE		0		
					TOTAL CONNECTED KVA BY PHASE			12.2	11.3		
		CONN KVA	CALC KVA				CONN KVA	CALC KVA			
LIGHTING		0.541	0.676		(125%)		RECEPTACLES	3	3	(50%>10)	
LARGEST MOTOR		1.18	0.294		(25%)		CONTINUOUS	9	11.3	(125%)	
MOTORS		5.12	5.12		(100%)		NONCONTINUOUS	5.8	5.8	(100%)	
						TOTAL LOAD		26.1			
						BALANCED LOAD		109 A			

A											
ROOM MOUNTING FLUSH FED FROM UTILITY NOTE				VOLTS 240/120V 2P 3W BUS AMPS 200 NEUTRAL 100%				A/C 10,000 MAIN BKR 200 LUGS STANDARD			
CKT #	CKT BKR	CIRCUIT DESCRIPTION	LOAD KVA		CKT #	CKT BKR	CIRCUIT DESCRIPTION	LOAD KVA			
			A	B				A	B		
1	20/2	HP-1	1.17		2	45/2	AHU-1	4.36			
3				1.17	4				4.36		
5	20/1	RECEPTACLE	1.44		6	20/1	DW	1			
7	20/1	RECEPTACLE		1.44	8	20/1	RECEPTACLE		0.18		
9	20/1	RECEPTACLE	0.72		10	20/1	RECEPTACLE	0.18			
11	20/1	RECEPTACLE		0.54	12	20/1	LIGHTING		0.122		
13	50/2	RANGE	4		14	20/1	SPACE	0			
15				4	16	20/1	SPACE		0		
17	20/1	RECEPTACLE	0.36		18	20/1	SPACE	0			
19	20/1	RECEPTACLE		0.18	20	20/1	SPACE		0		
21	20/1	HOOD, RECEPTACLE	0.492		22	20/1	SPACE	0			
23	20/1	RECEPTACLE		0.72	24	20/1	SPACE		0		
25	20/1	EF1, EF2, LIGHTING	0.521		26	20/1	SPACE	0			
27	20/1	LIGHTING		0.269	28	20/1	SPACE		0		
29	20/1	SPACE	0		30	20/1	SPACE	0			
31	20/1	SPACE		0	32	20/1	SPACE		0		
33	20/1	SPACE	0		34	20/1	SPACE	0			
35	20/1	SPACE		0	36	20/1	SPACE		0		
37	20/1	SPACE	0		38	20/1	SPACE	0			
39	20/1	SPACE		0	40	20/1	SPACE		0		
					TOTAL CONNECTED KVA BY PHASE				14.2	13	
		CONN KVA	CALC KVA				CONN KVA	CALC KVA			
LIGHTING		0.792	0.989	(125%)	KITCHEN EQUIPMENT		1	1	(100%)		
LARGEST MOTOR		2.18	0.546	(25%)	NONCONTINUOUS		8.43	8.43	(100%)		
RECEPTACLES		5.94	5.94	(50%>10)	HEATING		11.1	11.1	(100%)		
					COOLING		3.37	0	(0%)		
					TOTAL LOAD			28			
					BALANCED LOAD			116 A			

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Sep 08, 2025



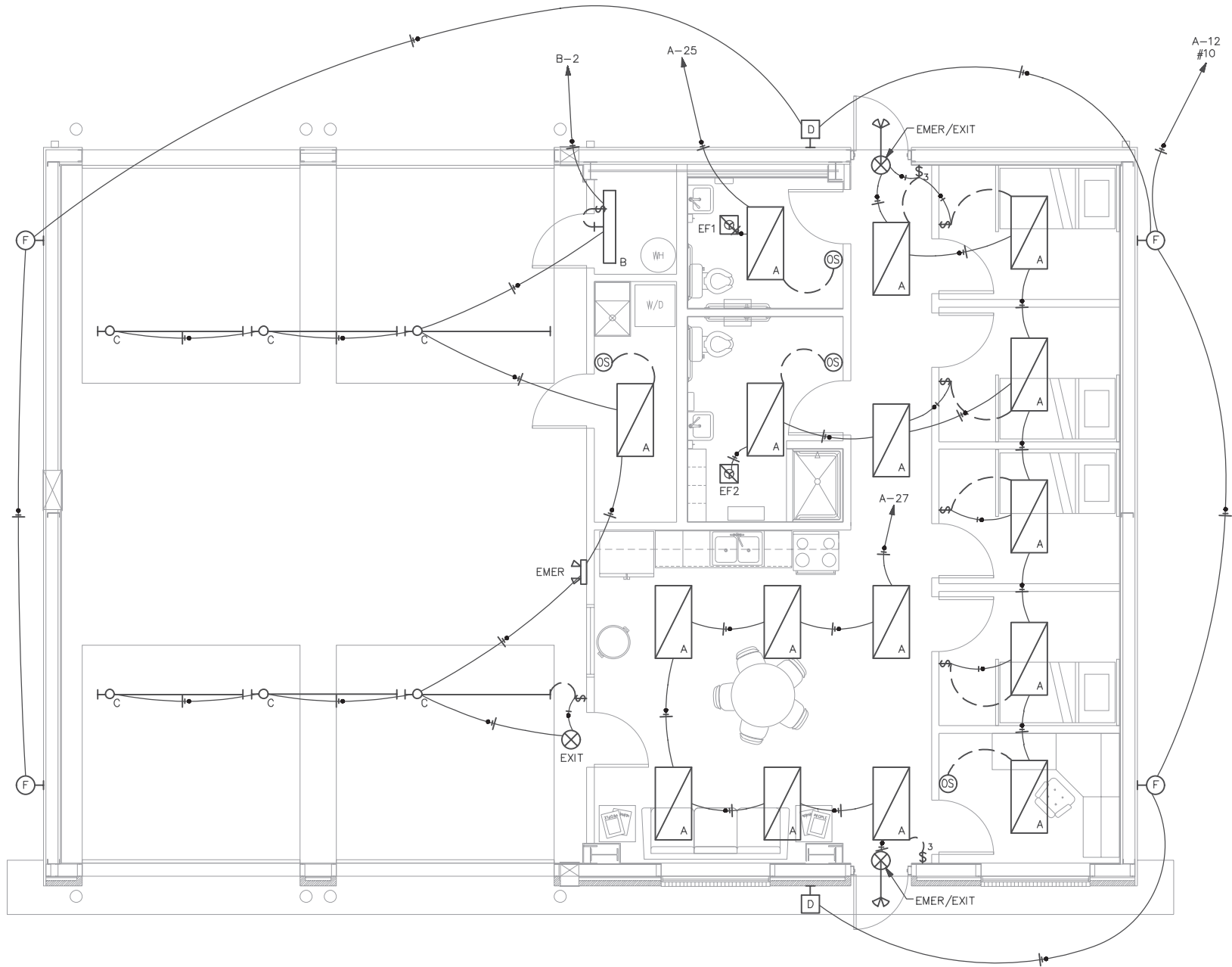
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ELECTRICAL PLAN

DATE: XX/XX/XXXX

E2
SHEET OF



APPENDIX B 2018 BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

ELECTRICAL DESIGN

ELECTRICAL SYSTEM AND EQUIPMENT

Method of Compliance:
Energy Code:
ASHRAE 90.1:

☒ Prescriptive
☐ Performance
☐ Prescriptive
☐ Performance

Lighting schedule (each fixture type)

lamp type required in fixture
number of lamps in fixture
ballast type used in the fixture
number of ballasts in fixture
total wattage per fixture
total interior wattage specified vs. allowed (whole building or space by space)
total exterior wattage specified vs. allowed

SEE FIXTURE SCHEDULE

1211/1447
42/120

Additional Prescriptive Compliance

☐ 506.2.1 More Efficient HVAC Equipment
☒ 506.2.2 Reduced Lighting Power Density
☐ 506.2.3 Energy Recovery Ventilation Systems
☐ 506.2.4 Higher Efficiency Service Water Heating
☐ 506.2.5 On-Site Supply of Renewable Energy
☐ 506.2.6 Automatic Daylighting Control Systems

1 LIGHTING PLAN
E3 1/4"=1'-0"

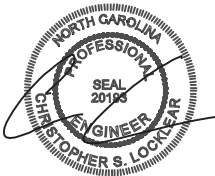
OS BRYANT (HUBBELL) MSD1000W1 OR EQUAL WALL SWITCH OCCUPANCY SENSOR
DUAL (ULTRASONIC AND PASSIVE INFRARED) TECHNOLOGY
1,000 SQUARE FOOT COVERAGE
800W INCANDESCENT, 1000W FLUORESCENT AT 120V AC
ALL O.S. TO BE WALL MOUNTED TO ALLOW FOR OCCUPANT MANUAL OVERRIDE
① UNSWITCHED LEG OF CIRCUIT TO BATT PACK, SWITCHED LEG TO NORMAL LED DRIVER

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SHEET TITLE:
LIGHTING PLAN

DATE: XX/XX/XXXX

E3
SHEET OF

MECHANICAL LEGEND	
SYMBOL	DESCRIPTION
	RECTANGULAR CEILING MOUNTED S/A DIFFUSER
	RECTANGULAR CEILING MOUNTED R/A OR EXHAUST GRILLE
	RUNOUT TO DIFFUSER W/VOLUME DAMPER AND CONE EXTRACTOR
	90 DEG. ELBOW W/ TURNING VANES
	CONDENSATE DRAIN PIPING
	REFRIGERANT PIPING
	HEATING AND COOLING THERMOSTAT, MOUNT 5'-0" A.F.F., AUTOMATIC CHANGEOVER.
	SYSTEM EMERGENCY SHUT-OFF SWITCH (RED LABELED)
	DUCT SMOKE DETECTOR - FURNISHED BY M.C., INSTALLED BY M.C., WIRED BY M.C.
	SUPPLY AIR
	RETURN AIR
	OUTSIDE AIR
	SPLITTER DAMPER
	MANUAL DAMPER WITH LOCKING QUADRANTS
	BACKDRAFT DAMPER
	ABOVE FINISHED FLOOR
	PLUMBING CONTRACTOR
	MECHANICAL CONTRACTOR
	ELECTRICAL CONTRACTOR
	CEILING FIRE/RADIATION DAMPER
	VERTICAL FIRE DAMPER
	DUCT SMOKE DETECTOR

ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 NC MECHANICAL CODE.

ALL DUCTWORK SHALL BE CONSTRUCTED OF GALVANIZED SHEET METAL IN ACCORDANCE WITH ASHRAE & SMACNA. DUCT SIZES SHOWN ARE NET FREE AREA REQUIRED. ALL SUPPLY AND RETURN DUCTS AND FLEX SHALL BE INSULATED WITH MIN. R-6.0 INSULATION UNLESS OTHERWISE NOTED IN THE DRAWING.

ALL EXPOSED ROUND DUCT SHALL BE DOUBLE WALL INSULATED. EXPOSED RECTANGULAR DUCT SHALL BE INTERNALLY LINED WITH INSULATION.

ALL DUCTS SHALL BE AIR TIGHT, RIGID AND FREE FROM VIBRATION AND NOISE. ALL LAP JOINTS SHALL BE IN THE DIRECTION OF FLOW. VOLUME OR SPLITTER DAMPERS SHALL BE INSTALLED WHERE NECESSARY TO GUIDE AND CONTROL THE AIR FLOW. PROVIDE SHEET METAL SLEEVES AND COLLARS WHERE DUCTS PASS THROUGH WALLS.

STRUCTURAL MEMBERS OF THE BUILDING SHALL NOT BE CUT IN ANY MANNER FOR THE INSTALLATION OF ANY EQUIPMENT UNLESS PRIOR APPROVAL IS OBTAINED FROM THE ARCHITECT.

MECHANICAL CONTRACTOR TO CONFIRM BREAKER/DISCONNECT SIZES OF HIS EQUIPMENT WITH THE ELECTRICAL CONTRACTOR.

FURNISH AND INSTALL A DUCT MOUNTED SMOKE DETECTOR IN THE RETURN DUCT OF THE A/C UNIT IN ACCORDANCE WITH 2018 NC MECHANICAL CODE. THE DETECTOR SHALL BE WIRED TO SHUT DOWN THE FAN IN THE EVENT THE DETECTOR IS ACTIVATED. THE MECHANICAL CONTRACTOR SHALL FURNISH AND INSTALL THE DUCT DETECTOR AND RUN THE NECESSARY CONTROL WIRING FROM THE DETECTOR TO HIS EQUIPMENT. SMOKE DETECTORS ARE ONLY REQUIRED FOR UNITS SUPPLYING 2000 CFM OR MORE.

MECHANICAL CONTRACTOR SHALL PROVIDE A TEST AND BALANCE REPORT. SYSTEM COMPLIANCE STATEMENT REQUIRES A WRITTEN TAB REPORT. FINAL PROJECT SIGNOFF WILL BE DENIED WITHOUT THIS REPORT.

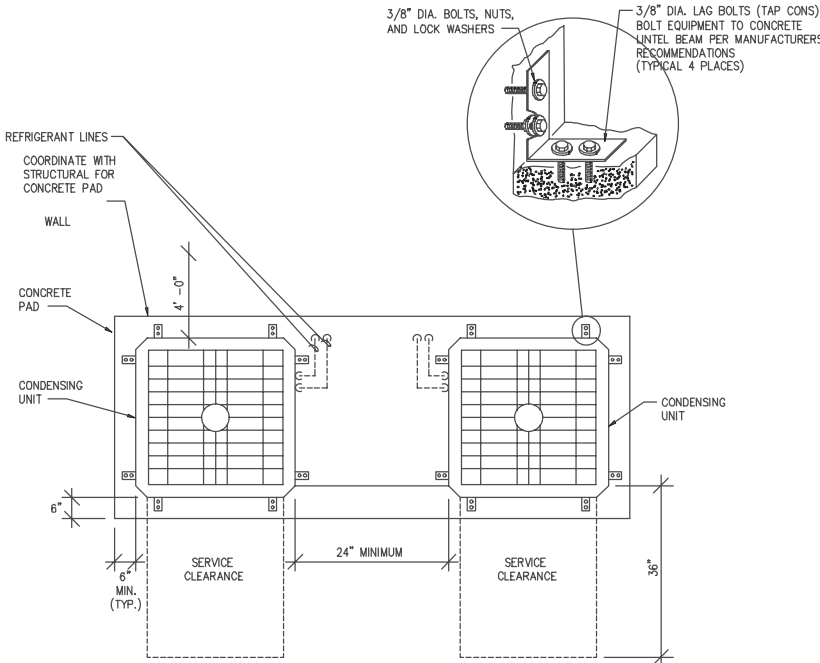
MECHANICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATIONS AND ROUTING OF ALL DUCTWORK WITH OTHER TRADES TO AVOID CONFLICTS.

ALL EQUIPMENT MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED TO BE FREE OF DEFECTS FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE OF THE WORK OR IN ACCORDANCE WITH THE PARTICULAR MANUFACTURER'S STANDARD GUARANTEE IF LONGER. ANY FAULTY MATERIAL OR WORKMANSHIP OR FAILURE OF ANY PART OF THE SYSTEM DURING NORMAL OPERATIONS UNDER THIS GUARANTEE SHALL BE CORRECTED WITHOUT COST TO THE OWNER.

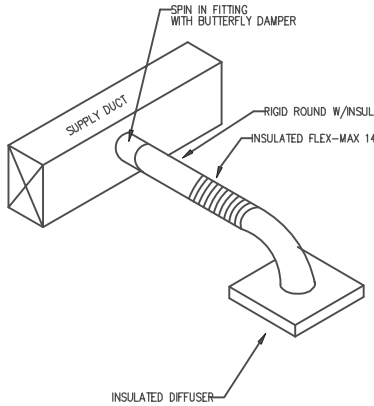
ALL THERMOSTATS SHALL BE OF A PROGRAMMABLE TYPE.

BUILDING CONTRACTOR SHALL PROVIDE PERMANENT ACCESS TO ROOF STRUCTURE FOR ACCESS TO MECHANICAL EQUIPMENT WHEN ROOF STRUCTURE IS GREATER THAN 16'-0" HIGH.

1
M1
HVAC NOTES
N.T.S.



2
M1
CONDENSING UNIT PAD DETAIL
N.T.S.



3
M1
DIFFUSER TAKE-OFF DETAIL
N.T.S.

OUTSIDE AIR CALCULATION -NC 2018 MECHANICAL CODE (TABLE 403.3.1.1) Vbz = RpPz + RaAz

OCCUPANCY TYPE:	SF	# OF OCCUPANTS	# OF OCCUPANTS	# OF	O.A. CFM PER	O.A. CFM PER	O.A. CFM REQUIRED	EXHAUST CFM REQUIRED
	(Az)	PER 1000 SF	ROUGH	OCCUPANTS	PERSON (Rp)	SqFt (Ra)	(Vbz)	
				(Pz)				
STORAGE	25	0	0	0	0	0.12	3	
WASHER/DRYER STORAGE	60	0	0	0	0	0.12	7	
RESTROOM	61	0	0	0	0	0	0	70
RESTROOM	96	0	0	0	0	0	0	70
AHU-1 SITTING ROOM	340	10	3.4	4	5	0.06	40	
CORRIDOR	89	0	0	0	0	0.06	5	
SLEEP ROOM	75	10	0.75	1	5	0.06	10	
SLEEP ROOM	74	10	0.74	1	5	0.06	9	
SLEEP ROOM	74	10	0.74	1	5	0.06	9	
SLEEP ROOM	74	10	0.74	1	5	0.06	9	
OFFICE	70	5	0.35	1	5	0.06	9	
						0		
TOTAL CFM REQUIRED							103	140
TOTAL CFM FURNISHED							140	140

OUTSIDE AIR CALCULATION -NC 2018 MECHANICAL CODE (TABLE 403.3.1.1) Vbz = RpPz + RaAz

OCCUPANCY TYPE:	SF	# OF OCCUPANTS	# OF OCCUPANTS	# OF	O.A. CFM PER	O.A. CFM PER	O.A. CFM REQUIRED	EXHAUST CFM REQUIRED
	(Az)	PER 1000 SF	ROUGH	OCCUPANTS	PERSON (Rp)	SqFt (Ra)	(Vbz)	
				(Pz)				
EF-3 TRUCK BAY	1103	0		0	0	0	0	828
						0		
TOTAL CFM REQUIRED							0	828
TOTAL CFM FURNISHED							0	1084

SYSTEMS USING A2L REFRIGERANT SHALL BE LISTED TO UL STANDARD 60335-2-40, CURRENT EDITION.

PER EPA SNAP 23, SYSTEMS USING A2L REFRIGERANT SHALL HAVE PERMANENTLY AFFIXED MARKINGS AND LABELING TO INDICATE REFRIGERANT INSTALLED IN THE SYSTEM AND NOTICE OF LEAK DETECTION SYSTEM INSTALLED, AND SHALL HAVE SERVICE PORTS, PIPES, HOSES AND OTHER DEVICES THROUGH WHICH REFRIGERANT FLOWS TO BE MARKED IN RED.

SYSTEMS USING A2L REFRIGERANT CHARGE > 4.0 LBS SHALL HAVE INTEGRAL FACTORY INSTALLED REFRIGERANT LEAK DETECTION SYSTEM MOUNTED IN THE AIR HANDLING UNIT SECTION DOWNSTREAM OF THE EVAPORATOR COIL WITH INTERNAL CONTROLS TO AUTOMATICALLY UPON REFRIGERANT DETECTED, UNIT COMMANDS COMPRESSORS AND ELECTRIC HEAT (IF PRESENT) OFF, AND COMMANDS AIR HANDLING UNITS FAN TO MAXIMUM AIRFLOW FOR AIR CIRCULATION. ONCE REFRIGERANT HAS NOT BEEN DETECTED FOR A MINIMUM OF 5 MINUTES, UNIT SHALL RETURN TO NORMAL OPERATION.

FOR SYSTEMS USING A2L REFRIGERANT, IF RELEASABLE REFRIGERANT CHARGE IN THE SYSTEM EXCEEDS THE LEVELS ALLOWED IN ANSI/ASHRAE STANDARD 15 -2022 OR NEWER FOR THE EFFECTIVE DISPERSAL VOLUME, PROVIDE SAFETY ISOLATION VALVES IN BOTH REFRIGERANT LINES AS RELEASE MITIGATION CONTROLS. VALVES SHALL AUTOMATICALLY CLOSE UPON SIGNAL FROM THE UNIT INTEGRAL REFRIGERANT LEAK DETECTOR. VALVE LOCATIONS SHALL BE AS SUCH FOR RELEASABLE REFRIGERANT CHARGE TO BE LESS THAN THE LEVELS ALLOWED IN ANSI/ASHRAE STANDARD 15 -2022 OR NEWER FOR THE EFFECTIVE DISPERSAL VOLUME.

AS PART OF SUBMITTALS, PROVIDE CALCULATED RELEASABLE REFRIGERANT CHARGE FOR EACH SYSTEM, INCLUDING CONNECTING PIPING.

4
M1
A2L REFRIGERANT NOTES
N.T.S.

HEAT PUMP UNIT SCHEDULE														
OUTDOOR UNIT										CAPACITIES		MFG & MODEL	REMARKS	
UNIT NO.	COMPRESSOR AMPS	NO. OF COMP.	FAN AMPS	NO. OF FANS	UNIT VOLT	UNIT PHASE	MOCP	MCA	WIRE SIZE (DU. 75 C)	TOTAL COOLING	MIN SEER2			HEATING
HP-1	9.1	1	0.64	1	240	1	20	13.0	10	23,400	14.3	22,400	TRANE STW4024M1 OR EQUAL	2 TON HEAT PUMP UNIT

AIR HANDLING UNIT SCHEDULE												
UNIT NO.	CFM	OA CFM	ESP IN WG	FAN MOTOR							MFG. & MODEL	REMARKS
				HP	VOLTS	PHASE	CYCLE	FLA	MCA	MOCP		
AHU-1	1000	-	0.75	1/2	240	1	60	4.3	45	45	TRANE STEM6B03 OR EQUAL	2.5 TON AIR HANDLER W/ 7.68 KW STRIPS

INFRARED TUBE HEATER SCHEDULE								
MARK	LOCATION	SERVICE	INPUT BTU	TUBE LENGTH	VOLT	FULL LOAD AMPS	MFG. & MODEL	ACCESSORIES
IRTH-1,2	CEILING	TRUCK BAY	50,000	15'	120	2.6	SPACE RAY LTS 50 L5	

FAN SCHEDULE										
MARK	LOCATION	SERVICE	CFM	S.P.	WATTS/HP	RPM	VOLT	PHASE	DRIVE	REMARKS
EF1	CEILING	TOILETS	80	0.1"	60	1690	120	1	DIRECT	CEILING MOUNTED FAN, PROVIDE W/B.D.D. AND WALL CAP BROWN #884 OR EQ. 4" FLEX TO ROOF/WALL CAP
EF2										
EF3	SIEDWALL	TRUCK BAY	1084	0.125"	0.078 HP	1725	120	1	DIRECT	SIWELW. EXHHAUST FAN SE1-12-426 OR EQUAL

LAY-IN DIFFUSER/RETURN SCHEDULE					
MARK ON PLANS	CFM	AIR PATTERN	NECK SIZE	RUNOUT SIZE	REMARKS
(A)	50-125	4 WAY	6 X 6	6"	PRICE SERIES ASCD OFF WHITE, ALUM.,
(E)		N/A	12 X 12	SEE PLAN	PRICE SERIES 630 OFF WHITE, ALUM., RETURN

Coastal Plains Engineering, P.A.
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Feb 12, 2025



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DRAWN BY: MJL

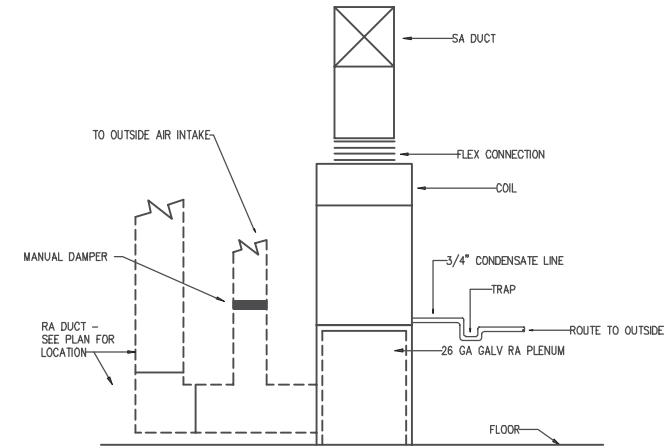
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SHEET TITLE:
HVAC NOTES, DETAILS
AND SCHEDULES

DATE: XX/XX/XXXX

M1
SHEET OF



APPENDIX B 2018 BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

Interior design conditions	
winter dry bulb:	<u>75°</u>
summer dry bulb:	<u>75°</u>
relative humidity:	<u>50%</u>

Building cooling load: 17,141 BTUH

Binary

description of unit: SPLIT SYSTEM HEAT PUMP
heating efficiency: 8.50 HSPF
cooling efficiency: 14.0 SEER
size category of unit: <65,000 BTU

description of units: INFRARED TUBE HEATERS
heating efficiency: 81 AFUE
cooling efficiency: N/A
size category of unit: <225,000 BTU

Boiler

Size category. If oversized, state reason.: _____

Chiller

Size category. If oversized, state reason.: _____
10.6 HSPF, 19.0 SEER, 81 AFUE

List equipment efficiencies: _____

M2

1/4" = 1-0

IRTH-1
50,000 BTU

1/2"

3/4"

1/2"

IRTH-2
50,000 BTU

3/4"

INTERIOR PIPING
SCHEDULE 40 METALLIC PIPE

HIGH PRESSURE
REGULATOR AT TANK

PROANE TANK
UNDERGROUND

3/8" ACR

EXTERIOR PIPING
COPPER TUBING

LOW PRESSURE
REGULATOR AT BLDG.

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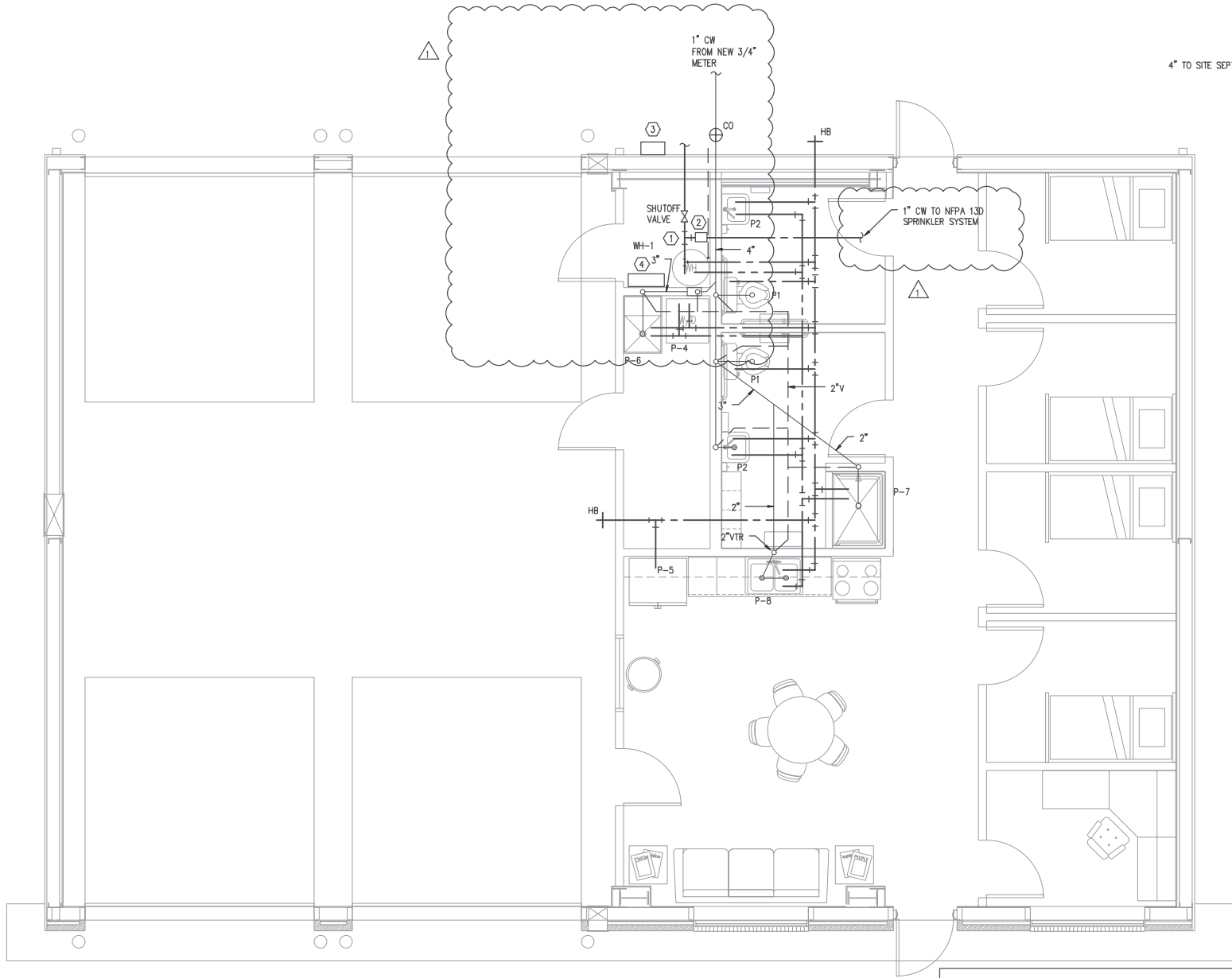
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SHEET OF

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1 PLUMBING PLAN
1/4"=1'-0"

SYMBOL	MANUFACTURER	MODEL #	FIXTURE DESCRIPTION	ACCESSORIES	SUPPLY	WASTE	VENT	REMARKS
P-1	AMERICAN STD.	270AA.001	CADET 3 RIGHT HEIGHT ELONGATED TOILET VITREOUS CHINA, 1.6 GPF-ADA	CHURCH 295C ELONGATED SEAT OPEN FRONT LESS COVER	3/4" C.W.	3"	2"	
P-2	AMERICAN STD.	0321.026	LAVATORY, WALL-TYPE	AMERICAN STANDARD, 2385.400 FAUCET	1/2" H.W./C.W.	2"	1-1/2"	
P-3								
P-4	OATEY		WASHER SERVICE BOX		1/2" C.W.	2"	1-1/2"	
P-5	OATEY		ICE MAKER SERVICE BOX		1/2" C.W.			
P-6	SWAN	MS2424	SERVICE SINK, FLOOR-TYPE	SWAN MS-5811, SWAN MS-2437 MOP SINK FAUCET, MOP HANGER	1/2" H.W./C.W.	3"	1-1/2"	
P-7	FIAT	MS348	48 X 34 Shower Stall, Fiberglass	DELTA MODEL 1623 SCALD GUARD WITH MATCHING SHOWER HEAD	1/2" H.W./C.W.	2"	1-1/2"	
P-8	ELKAY	LR3322	KITCHEN SINK	DELTA MODEL 400 FAUCET, W/SPRAYER	1/2" H.W./C.W.	2"	1-1/2"	
HB	WOODFORD		HOSE BIB, OUTDOOR FREEZEPROOF	-	1/2" C.W.	-	-	
WH-1	STATE		52 GAL., ELECTRIC 9000W (SIMULTANEOUS OP) 240V	3/4" T & P RELIEF VALVE	3/4" H.W./C.W.	-	-	SEE PLAN FOR LOCATION

GENERAL PLUMBING SYMBOLS

	UNION
	PIPE UP
	PIPE DOWN
	POINT OF CONNECTION BETWEEN NEW AND EXISTING WORK
	TEE
	ELBOW
	WALL CLEANOUT
	FLOOR CLEANOUT
	GATE VALVE
	COLD WATER
	HOT WATER
	VENT PIPING
	WASTE PIPING
	ROOF DRAIN PIPING

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE CODE AS WELL AS ALL LOCAL AND OTHER APPLICABLE CODES.

ALL WORK SHALL BE PERFORMED BY EXPERIENCED AND SKILLED CRAFTSMEN.

WATER LINES BELOW GRADE SHALL BE TYPE "K" COPPER (NO JOINTS BELOW GRADE) AND ABOVE GRADE TYPE "L" COPPER SUPPORTED AS REQUIRED AND SHALL BE HYDROSTATICALLY TESTED FOR TWO HOURS AT 100 PSI. ALL WATER PIPING AT WATER FIXTURES SHALL BE PROVIDED WITH 18" AIR CHAMBERS OR SHOCK ABSORBERS. STOPS SHALL BE PROVIDED ON HOT AND COLD WATER LINES. HOT WATER PIPING SHALL BE INSULATED WITH 1" CLOSED CELL RUBBER. THE ENTIRE WATER SYSTEM SHALL BE DISINFECTED PRIOR TO PLACING IN SERVICE. PVC/PEX MAYBE SUBSTITUTED FOR COPPER.

SANITARY SEWER LINES SHALL BE PVC.

PROVIDE PRESSURE REDUCING VALVE IF STREET WATER EXCEEDS 80 PSI. GAS PIPING WILL BE SCHEDULE 40 BLACK STEEL WITH BLACK MALLEABLE IRON SCREW-TYPE FITTINGS.

THE PLUMBING CONTRACTOR SHALL PROVIDE ALL OPENINGS REQUIRED FOR THE PLUMBING WORK AND SHALL INSTALL FIRE RATED SLEEVES WHEREVER PENETRATIONS OF RATED WALLS OR FLOORS ARE MADE. THE PATCHING SHALL BE BY THE PLUMBING CONTRACTOR. THE PLUMBING CONTRACTOR SHALL REVIEW ALL UTILITY SITE PLANS AND ARCHITECTURAL SITE PLANS FOR WORK BY OTHERS.

LOCATION OF UTILITIES (WASTE AND WATER LINES, MANHOLES ETC.) THAT ARE TO BE CONNECTED TO ARE ASSUMED. IT SHALL BE THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO VERIFY THESE LOCATIONS AND MAKE THE FINAL CONNECTION AS REQUIRED.

ALL FLOOR DRAINS SHALL BE PROVIDED WITH TRAP PRIMERS

2 PLUMBING NOTES
N.T.S.

3 SPRINKLER NOTES
NTS

1 A WARNING SIGN WITH A MIN OF 1/4" LETTERS SHALL BE AFFIXED ADJACENT TO THE MAIN SHUTOFF VALVE AND SHALL STATE THE FOLLOWING-

THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS AND AUTOMATIC SHUTOFF VALVES SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN.

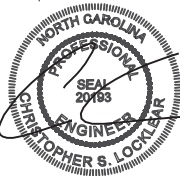
- 2 WATER FLOW SWITCH
- 3 ALARM BELL
- 4 SPRINKLER MONITORING SYSTEM

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Sep 08, 2025



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ROSEBORO RESCUE
W DOCTOR MARTIN LUTHER KING JR.
ROSEBORO NORTH CAROLINA

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PLUMBING PLAN

DATE: XX/XX/XXXX

P1
SHEET OF



ANDREW W. PRIVETTE, AIA
1920 FT. BRAGG ROAD
FAYETTEVILLE,
NORTH CAROLINA 28303
TELE. (910) 485-8567
d2bandrew@gmail.com

Outline Specifications

Roseboro EMS Rescue Facility

06-15-2026

INCLUSIONS

DIVISION 1: GENERAL CONDITIONS AND COMMENTS

1. This project is a pre-engineered building structure with custom front facing wall construction. Type II-B construction type with metal stud interior framing.
2. The General Conditions of the American Institute of Architects shall cover all work under this contract.
3. All work shall comply with local codes and ordinances and industry standards.
4. All work shall carry the standard one-year building warranty from the General Contractor as well as all manufacturers' warranties. Warranty documentation and Building Handbooks will be provided by the General Contractor at the time of Owner occupancy.
5. See the Sampson County/Roseboro General and Supplemental Conditions for specifics regarding payment, insurance, site management, etc.
6. Please note this is an essential services facility and structural engineering of the pre-engineered building system should provide the appropriate design for Risk Factor IV facilities.
7. Utility connections for sewer (septic), water (well), power, or other necessary utilities will be as located and shown on the Civil drawings.
8. Carbon Monoxide and Smoke Detector Alarms will be required in sleeping rooms and smoke detectors in corridors and additionally as directed by the Owner.

DIVISION 2: SITE CONSTRUCTION

1. Erosion control, storm drainage, and utility services shall conform to local codes and be placed as noted on drawings.
2. Pricing for stormwater retention is not required at this time. Requirements and methods, if any, will be determined at a later date.
3. Landscaping and materials shall conform to local ordinances.
4. Excavate to 8" and 10" below existing finish floor for new 4" stone base and 4" and 6" concrete slabs
5. Final soil grades to be 6" below finish floor elevation with transition to doorways. Adjacent walkways to be 2" below finish floor with transitions at doorways. Drives at vehicle doors to be smooth transitions with a maximum slope of 1/2" in 12"
6. The site grading will be as determined by the Civil Engineering Drawings
7. Fencing if any will be as determined by the Owner.
8. Seed all areas after grading with zoysia grass seed and provide proper soil preparation, fertilization, and perimeter irrigation.
9. Downspouts to be piped to nearest catch basin, drop inlet. Or as directed by the Civil Engineering Drawings.

Outline Specifications

Roseboro EMS Rescue Facility

06-15-2026

10. Soil Compaction: A minimum of 95% of soils maximum dry density in lifts as noted on the geotechnical report.

11. 4" PVC pipe for the trench drain in the truck bay and downspouts leading to the back of the property. 200 LF.

DIVISION 3: CONCRETE

1. Concrete quality to meet 3,000 psi compressive strength within 28 days.
2. Documentation stating a minimum soil bearing capacity of 2,000 PSF will be on file with the contractor.
3. Slab on grade construction with monolithic turn down footing, with and without brick ledge. Perimeter slab insulation is not required. Optionally provide R-15 rigid perimeter insulation and mesh with cementitious coating protection.
4. Slab reinforcing to be 6x6 W1.4xW1.4 welded wire fabric
5. Additional crack control to be provided with Sika Fibermesh-150 polypropylene monofilament fibers, 1 pound per cubic yard.
6. Slab to be level on 1/4" in 10' non-accumulative.
7. Optionally provide a four-meter section of Polydrain trench drain system with reinforced steel grates between truck bays and pipe to the exterior.
8. Provide standard slab-on-grade termite pretreatment at perimeter footings and penetrations at plumbing pipes.
9. Hot Weather Slump: 4 to 5 inches with admixtures

DIVISION 4: MASONRY

1. Brick units are to be modular size; **color and texture matching the neighboring fire station.** Allow \$700 per thousand for brick material cost delivered to the site.
2. Foundation flashing is to be Grace Perma-Barrier flashing or equivalent for foundation and in-wall flashing at openings. Weep vents at 24" O.C. horizontally to occur one course below finish-floor level.
3. Mortar to be type M or N, colored to be grey mortar, no dye colors.
4. Lintels to be galvanized steel and painted to match supported masonry color.

DIVISION 5: METALS

1. All welding and steel connections to comply with approved standards.
2. All work to be shop primed.
3. Reinforcing steel to be grade 60.
4. All structural steel to be minimum grade A50.
5. Lintels to be galvanized steel.
6. See section 13 for Pre-engineered Metal Building information

Outline Specifications

Roseboro EMS Rescue Facility

06-15-2026

DIVISION 6: *WOODS AND PLASTICS* – N/A

1. **Cabinets and Counter Tops:** Cabinets to be plastic laminate faced, melamine interiors. Counter tops to be plastic laminate with 4" backsplash. Base cabinets to be standard door and drawer and sink base per the plan elevations. 15" and 30" tall wall cabinets in 36", 30", and 18" widths
2. **Conceal hood exhaust pipe** in a box to the ceiling with matching cabinet material.
3. **Color** to be selected by Owner from standard laminate offerings.

DIVISION 7: *THERMAL AND MOISTURE PROTECTION*

4. Building insulation values to be:
Walls: R-10ci continuous insulation on the interior of the wall girts or Simple Saver Insulation System.
Roof: R-10 + R-19 FC Simple Saver Insulation System.
5. Roofing per Pre-engineered Metal Building Manufacturer
6. Box gutters per Pre-engineered Metal Building Manufacturer
7. Exterior trim per Pre-engineered Metal Building Manufacturer
8. Optional slab insulation to be provide R-15 rigid polystyrene protected with mesh and cementitious coating protection.

DIVISION 8: *DOORS AND WINDOWS*

1. Emergency Escape windows to be white aluminum single-hung windows by Plyco or equal – see sheet A101.
2. Front facing windows to be white storefront thermally broken frames with tempered insulated and low-e glass.
3. Optional windowsills to be 3/4"x 8"to 10"+/- (to fit) cultured marble, white or as selected by Owner.
4. Interior doors to be 6'-8" flush wood solid core, painted.
5. Interior door frames to be 16-gauge hollow metal knock-down, wrap-around type.
6. Hardware to be Schlage or Equivalent, cylindrical type, commercial grade meeting accessibility code requirements, typically brushed chrome in finish.
7. **Provide cultured marble windowsills**

DIVISION 9: *FINISHES*

1. Interior framing is to be 3 5/8" and 6" metal studs.
2. Use movement accommodating clips and deflection track at walls that attach to the metal building structure.
3. Wall finish to be 5/8" gypsum wall board, moisture resistant at toilet rooms and Dayroom cabinet wall.
4. Toilet rooms will have white FRP to 8'-6"+/- on all walls with proper cap trim at the top and butting floor-base cap trim at the bottom. Use manufacturer's aluminum trim at vertical seams, corners, and cap.

Outline Specifications

Roseboro EMS Rescue Facility

06-15-2026

5. Provide metal strapping or wood blocking at cabinet wall as designated by the cabinet installer. Also, provide blocking at grab bar locations.
6. Interior finish colors are to be selected by Owner.
7. Truck Bay floor finish to be Siakfloor 264 FS epoxy coating, light gray color or equivalent epoxy product as approved.
8. Flooring finish first choice is FORBO sheet Marmoleum 0.1" thick, Style Marbled, Colors "Granada" or "Horse Roan" OR EQUIVALENT - Mohawk sheet vinyl Juniperus II C2059 "955 Nightingale", or Armstrong sheet vinyl Natrulis "Hot Springs".
9. Baseboards to be 4" rubber cove base except in the toilet rooms. There provide sheet vinyl flash cove base continuations with cove cap 6" up the wall. Cold-weld corner transition seams
10. Walls to be painted with latex primer and two coats eggshell, washable finish paint.
11. Doors and Hollow Metal Frames to be painted with oil-based primer and two coats semi-gloss finish paint.
12. Ceilings to be 24 x 24 acoustical tile, square edge, 15/16" grid; no acoustical ceiling in the truck bays. Ceiling tiles in the toilets to be washable vinyl-faced gypsum panels.

DIVISION 10: SPECIALTIES

1. Provide and install mirrors, grab bars, toilet paper dispensers, paper towel dispensers, towel bars, towel hooks, soap dispensers, trash receptacles, hand sanitizers, and other toilet accessories as designated on the plans and as directed by the owner. Acceptable manufacturers are Bobrick, Bradley, American Specialties. All accessories to be stainless steel, not painted.
- ~~2. The county may have a janitorial supply contract that will provide most of these items. Coordinate with the county authorities.~~
3. Fire Extinguishers to be 100# ABC type. Provide a minimum of two, one in the day room and one in the truck bay.
4. Lockers in the shower room to be Standard Metal 12" wide and 18" deep, single tier type by Salisbury or equivalent, color to be selected.
5. 24" bench is furniture as selected by Owner

DIVISION 11: EQUIPMENT

1. There is an Allowance for Appliances of \$2,200.00 for a refrigerator with ice and water dispenser and an electric range, final selections will be by Owner..
2. The range hood is to be a Broan 4200 Series as shown on the mechanical sheet. Conceal hood exhaust pipe in a box to the ceiling with matching cabinet materials.

Outline Specifications

Roseboro EMS Rescue Facility

06-15-2026

DIVISION 12: *FURNISHINGS*

1. All furnishings are excluded and are by the Owner including chairs, tables, desks, beds, etc. Furniture items that are shown on plans are for planning purposes only.
2. Contractor to provide Top-Down Bottom-Up Cellular Shades. Blackout shades for the four bedrooms, light-filtering for the office and day room. Manufactures are SWS Contract, Levolor, Hunter Douglas, or equivalent.

DIVISION 13: *SPECIAL CONSTRUCTION*

PRE-ENGINEERED METAL BUILDING SYSTEM

1. The pre-engineered metal building manufacturer and system will be as presented by the selected contractor.
2. Single slope to the rear, eave heights, fascia system, etc. generally as shown on the plans with the particular manufacturer's standard variations acceptable.
3. Wall panels are to be 26-gauge metal REVERSE R-Panel with ribs at 12" on center.
4. Roof panels are to be 24-gauge metal, Galvalume, screw-down roof system
5. Optionally price a 24-guage Galvalume standing seam system
6. The building manufacturer is to submit shop drawings and submittals for review and provide structural reactions for final foundation double check.
7. Please note this is an essential services facility and structural engineering of the pre-engineered building system should provide the appropriate design for Risk Factor IV facilities.

DIVISION 14: *CONVEYING EQUIPMENT - N/A*

DIVISION 21: *FIRE SUPPRESSION*

SPRINKLER SYSTEM

1. The fire protection specialist will be required to design a NFPA-13D domestic sprinkler system to cover the living areas of the facility. Connection will be per the drawings, sheet P-1.

DIVISION 22: *PLUMBING*

1. Include plumbing for toilets, lavatories, sinks, hose bibs, etc.
2. Water lines may be cross-linked polyethylene tubing, PEX or copper.
3. Waste lines to be PVC.
4. Fixtures to be American Standard or equivalent
5. Faucets to be Delta or equivalent

DIVISION 23: *MECHANICAL*

1. HVAC will be a split-system heat pump in the living areas and radiate heaters in the truck bay.
2. Ductwork will run above the lay-in ceiling and be fabricated from sheet metal, insulated supply duct for condensation control.
3. Flexible runouts shall not to exceed 15' in length.

Outline Specifications

Roseboro EMS Rescue Facility

06-15-2026

4. Registers and grills will match 2x2 ceiling grid and sized to accommodate airflow.
5. Access clearance at the equipment will be provided as required by code.
6. Toilet ventilation will be provided with exhaust fans vented to the outside.
7. Range hood will asl be vented to the outside.

DIVISION 26: *ELECTRICAL*

1. Carbon Monoxide and Smoke Detector Alarms will be required in sleeping rooms and smoke detectors in corridors and additionally as directed by the Owner.
2. The Owner's team is to coordinate locations of switches, receptacles, alarm, phone, and computer outlets with the electrical subcontractor and their equipment suppliers.
3. Phone, network and communications wiring and systems are to be included and final coordination and locations by Owner. Provide boxes and conduits to accommodate future pulls of wiring. Coordinate with the Owner and add conduits out of the building for phone, TV, computer, internet, and signage.
4. There are no plans for emergency power at this time.
5. As an alternate, provide a price for 500-gallon propane tank and 10KVA generator, electrical switch gear, emergency panel, and necessary wiring and connection.

DIVISION 27: *COMMUNICATIONS*

1. Special constructions such as network, internet services, fiber optic line, and surveillance systems are excluded and are by Owner.

DIVISION 28: *ELECTRONIC SAFETY AND SECURITY*

1. Fire alarm and detection systems shall be as necessary for the NFPA-13D system and is noted on the electrical drawings.

SUMMARY OF OPTIONS, ALLOWANCES, ALTERNATES, AND CLARIFICATIONS NOT ON THE DRAWINGS:

The allowance amounts include cost for design, engineering, specification, fabrication, manufacturer, purchase, accessory materials, supervision, installation, and final cleaning as well as tax, freight, insurance, and contractor's markup.

CLARIFICATIONS AND ADDITIONAL INFORMATION

1. In addition to the welded wire fabric, provide Sika Fibermesh, 1 pound per cubic yard of concrete for slab crack control.
2. Sheet linoleum flooring and flash base in the toilet rooms
3. Washable ceiling tile in the toilet rooms.
4. Blocking for cabinets and grab bars
5. Use movement accommodating clips and deflection track at exterior and interior walls that attach to the metal building structure.

Outline Specifications

Roseboro EMS Rescue Facility

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6. Risk Category IV structural design

~~7. Some toilet accessories from the county — maybe? To be coordinated.~~

ALLOWANCES

1. Brick: \$700/thousand
2. Appliances: \$2,200.00
3. Special Inspection Fees: \$10,000.00

ALTERNATES

1. 24-gauge standing seam roofing
2. Polydrain trench drain, four meters per Division 3, Item 7

OTHER ITEMS UNDER CONSIDERATION BUT NOT IN THE BID

1. 10KVA single-phase diesel generator with integral fuel tank, electrical switch gear, emergency panel, and necessary wiring and connection, to provide emergency power to lighting, refrigerator, and select office receptacles critical for communications. By General Power or equivalent.

END OF OUTLINE SPECIFICATIONS



Required Special Inspections

Roseboro EMS Rescue Facility
06-15-2026

Project Information

- **Project Name:** Roseboro, NC EMS Rescue Facility
- **Building Code:** 2018 North Carolina State Building Code (Chapter 17)
- **Foundation Type:** Monolithic Slab-on-Grade
- **Concrete Strength:** 3,000 PSI Minimum
- **Building Structure:** Pre-Engineered Metal Building

1. Soils and Soil Compaction

Frequency: Periodic

- **Per Civil Engineering Specifications:**
- **Subgrade Verification:** Verify the soil type matches the approved geotechnical report.
- **Density Testing:** Test soil layers for proper compaction percentages.
- **Moisture Content:** Check that soil wetness meets specifications during compaction.
- **Soil Compaction:** A minimum of 95% of soils maximum dry density in lifts as noted on the geotechnical report.

2. Concrete Mix and Material Requirements

Frequency: Periodic

- **Strength Specification:** Verify concrete mix design meets the 3,000 PSI requirement.
- **Mix Design Review:** Verify the concrete mix matches the approved design submitted.



- **Slump and Air Tests:** Test fresh concrete samples for workability and air bubbles.
- **Strength Testing:** Cast concrete cylinders to test compression strength at 7 and 28 days.

3. Foundation Reinforcing Steel

Frequency: Mixed (Periodic and Continuous as detailed below)

- **Materials Check (Periodic Inspection):** Check that the rebar is the correct strength and size.
- **Placement Inspection (Periodic Inspection):** Verify rebar spacing, concrete clearance, and lap splice lengths.
- **Main Frame and Endwall Posts Anchor Bolt Placement (Continuous Inspection):** Check placement, embedment, and exposure of ALL Main Frame and Endwall Posts anchor bolts before pouring.

4. Structural Steel Framing Erection

Frequency: Mixed (Periodic and Continuous as detailed below)

- **Field Welding (Continuous Inspection):** Provide full-time visual inspection for all field-welded connections during the welding process.
 - **High-Strength Bolting (Periodic Inspection):** Inspect bolt tightening using approved methods like the turn-of-nut method.
 - **Materials Check (Periodic Inspection):** Verify steel members and bolts match approved fabricator shop drawings.
 - **Frame Alignment (Periodic Inspection):** Verify the plumbness, elevation, and alignment of the columns.
-

SAMPSON COUNTY ROSEBORO EMERGENCY SERVICES BUILDING

SECTION 00 41 13 - BID FORM – STIPULATED SUM – SINGLE PRIME

PROJECT: Sampson County Roseboro Emergency Services Building
539 W Dr Martin L King Jr Blvd, Roseboro, North Carolina.

NAME OF BIDDER: _____.

BUSINESS ADDRESS: _____.

LICENSE NO. _____ DATE _____.

This Contractor hereby proposes to furnish all materials, labor and equipment necessary to provide the Owner with a completed project as described in these specifications and as shown, detailed, or noted on the drawings listed herein and to include all allowances and any information provided in addenda as indicated on this proposal form.

A. CONTRACT PRICE:

Roseboro Emergency Services Building					
ITEM NO.	DESCRIPTION	QTY	UNIT	UNIT PRICE	EXTENDED PRICE
1	MOBILIZATION (10%)	1	LS	\$	\$
2	SITE CIVIL, SIDEWALK, UTILITIES AND LANDSCAPING	1	LS	\$	\$
3	ON-SITE/OFF-SITE ROADWAY IMPROVEMENTS	1	LS	\$	\$
4	PREFABRICATED BUILDING AND NECESSARY APPURTENANCES (MEP/HVAC/STRUCTURAL) – NO BRICK VENEER	1	LS	\$	\$
5	BUILDING FOUNDATION CONCRETE, REINFORCEMENT AND VAPOR BARRIER	1	LS	\$	\$
6	ELECTRICAL SERVICE EXTENSION	1	LS	\$	\$
Subtotal					\$
7	APPLIANCES	1	LS	\$2,200.00	\$2,200.00
8	PRE-FABRICATED BUILDING – BRICK VENEER	1	LS	\$700,000.00	\$700,000.00
9	SPECIAL INSPECTIONS	1	LS	\$10,000.00	\$10,000.00
10	UNSUITABLE SOILS AND ROCK	1	LS	\$100,000.00	\$100,000.00
Total					\$

SAMPSON COUNTY ROSEBORO EMERGENCY SERVICES BUILDING

Total Base Bid:

\$ _____

B. ALTERNATES:

Alternate 1	Propane Tank	\$ _____
Alternate 2	(Add)	_____
Alternate 3	(Add)	_____
Alternate 4	(Add)	_____
Alternate 5	(Add)	_____
Alternate 6	(Add)	_____

C. TIME OF COMPLETION:

The undersigned further agrees to begin work immediately upon receipt of the "Notice to Proceed" with an adequate force, carry the work forward as expeditiously as possible, **and complete the work in Three Hundred Twenty (320) days.**

D. QUALIFICATIONS AND CLARIFICATIONS:

Contractor shall obtain any clarifications with the Owner in writing prior to the bid date. Bid qualifications are not permitted.

E. ADDENDA:

Contractor shall acknowledge receipt of all Addenda to the drawings and specifications by affixing his signature in the spaces provided below:

	Date	Signature
Addendum No. 1	_____	_____
Addendum No. 2	_____	_____
Addendum No. 3	_____	_____
Addendum No. 4	_____	_____
Addendum No. 5	_____	_____

F. LISTING OF MAJOR SUBCONTRACTORS:

Plumbing Contractor: _____

Mechanical Contractor: _____

Electrical Contractor: _____

G. CONTRACTOR'S LICENSE:

The undersigned further states that he is a duly licensed Contractor, for the type of work proposed, in the State of North Carolina, and that all fees, permits, etc., pursuant to the submission of this proposal have been paid in full.

Respectfully submitted this _____ day of _____, 2026.

Signature of Contractor or

Authorized Agent:

SAMPSON COUNTY ROSEBORO EMERGENCY SERVICES BUILDING

Name: _____

Title: _____

Address: _____

Phone: _____

License: _____

Witness: _____

Title: _____

Date: _____

Note:

- 1. Bids will be received until 2:00 p.m. on Thursday, July 2nd, 2026, at the Sampson County Administration Building, 406 County Complex Road, Clinton, NC, 28328*

END OF SECTION 00 41 13

SECTION 01 22 00 - UNIT PRICES

PART 1 - GENERAL

1.1 SUMMARY

- A. The scope of this section of the Contract Documents is to further define the items included in each Bid Item in the Bid Proposal section of these specifications. Payment will be made based on the specified items supplied and delivered in the description in this section for each bid item.
- B. The total Bid Price shall cover all Work required by the Contract Documents. All costs in connection with the proper and successful completion of the Work, including furnishing all materials, equipment, supplies, and appurtenances; providing all construction equipment and tools; and performing all necessary labor and supervision to fully complete the Work, shall be included in the lump sum and unit prices bid. All Work not specifically set forth as a pay item in the Bid Form but necessary to complete the intent of the construction documents shall be considered a subsidiary obligation of Contractor and all costs in connection therewith shall be included in the prices bid.
- C. No payment will be made for work constructed outside the authorized limits of work.

1.2 PROCEDURES

- A. Lump Sum Items: Where payment for bid items is shown to be paid for on a lump sum basis, no separate payment will be made for any item of work required to complete the lump sum item within the limits of work shown or specified. Incidental items include, but are not limited to:
 - 1. Shop Drawings, Working Drawings.
 - 2. Clearing, grubbing and grading except as hereinafter specified.
 - 3. Trench excavation, including necessary pavement removal and rock removal, except as otherwise specified.
 - 4. Dewatering and disposal of surplus water.
 - 5. Structural fill, backfill, and grading.
 - 6. Replacement of unpaved roadways, and shrubbery plots.
 - 7. Foundation and borrow materials, except as hereinafter specified.
 - 8. Testing and placing system in operation.
 - 9. Any material and equipment required to be installed and utilized for the tests.
 - 10. Pipe, structures, pavement replacement, driveways and/or appurtenances included within the limits of lump sum work, unless otherwise shown.
 - 11. Maintaining the existing quality of service during construction.
 - 12. Appurtenant work as required for a complete and operable system.
 - 13. Seeding and hydro mulching.
 - 14. As-built Record Drawings, clean up, and miscellaneous work.

Payment shall be made at the lump sum price stated in the Bid for each item and shall be pro-rated for the actual work completed based on an approved schedule of values detailing work to be completed under the specific item.

SAMPSON COUNTY ROSEBORO EMERGENCY SERVICES BUILDING

Each lump sum price shall include all the contractors' costs to complete the construction exclusive of payment items provided for elsewhere in the bid form.

- B. Unit prices include all necessary material, plus cost for delivery, installation, insurance, applicable taxes, overhead, and profit.
- C. Owner reserves the right to reject Contractor's measurement of work-in-place that involves use of established lump sum price and to have this work measured, at Owner's expense, by an independent surveyor acceptable to Contractor.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 DESCRIPTION OF BID ITEMS

These payments will be subject to the standard retainage provided in the agreement. Payment of the retainage will be made after completion of the work and demobilization.

BID ITEM NO. 1 - MOBILIZATION

Mobilization shall be the preparatory work and operations in mobilizing for beginning work on the project, including, but not limited to, those operations necessary for the movement of personnel, equipment, supplies and incidentals to the project site, and for the establishment of temporary offices, storage buildings, staging areas, maintaining traffic, safety equipment and first aid supplies, sanitary and other facilities, and installation of tree protection measures as required by the Contract Documents and applicable laws and regulations. The costs of submittals, bonds, required insurance, permits and any other preconstruction expense necessary for the start of the work, excluding the cost of construction materials, shall also be included in this item. Demobilization shall be the work of removing temporary facilities from the site, cleanup and restoration. Mobilization/Demobilization shall be limited to a maximum of ten percent (10%) of the total Bid Price.

Payment for mobilization/demobilization will be made on an incremental basis in accordance with the following:

<u>Percent of Original Contract Amount Earned</u>	<u>Allowable Percent of the Lump Sum Price for the Item</u>
5	25
10	50
25	75
50	90
100	100

BID ITEM NO. 2 – SITE CIVIL, SIDEWALK, UTILITIES, AND LANDSCAPING

Payment for all work included under this Bid Item shall be made at the applicable Contract lump sum price and shall represent full compensation for furnishing all labor, materials, equipment, tools, permits, coordination, supervision, and incidentals necessary to complete the work in accordance with the Contract Documents and as approved by the County and Engineer.

Work included under this Bid Item shall include, but not be limited to, maintenance of traffic; erosion and sediment control, including permitting and regulatory compliance; clearing and grubbing; preconstruction video documentation of existing site conditions; as-built record drawings and required certifications; installation of potable water mains, sanitary sewer mains, fittings, appurtenances, and associated connections; excavation; grading; dewatering; bedding; backfill; compaction; testing; utility locating; removal of abandoned facilities; protection and support of existing utilities and power/light poles; yard piping; fencing; borrow; signage; landscaping; sodding; and all other work required for a complete and operational project.

Clearing and grubbing shall include the removal and disposal of trees, roots, vegetation, rock, abandoned pipe, and other features not incorporated into the completed improvements. Unless otherwise noted on the Contract Drawings, clearing and grubbing shall include a ten-foot (10-foot) strip along proposed pipeline and service lateral routes within easements, rights-of-way, and private property. The Contractor shall be responsible for determining the extent of clearing required and shall obtain and pay for any permits associated with the burning, hauling, or disposal of removed materials.

Payment shall include all pipe, fittings, restraints, tracer wire, marking tape, tapping sleeves, testing plugs, excavation (including rock excavation), dewatering, bedding, backfill, compaction, testing, restoration, and all associated work required to install and place the utility systems into service. No additional compensation shall be made for excavation below pipe grade, rock removal, bedding and backfill materials, trench settlement repairs, utility conflicts, or other incidental work required to complete the installation.

The Contractor shall coordinate all required utility shutdowns and connections with Sampson County through Ashley Holland. A minimum of four (4) days advance notice shall be provided for all planned shutdowns. Connections to the County water and sewer systems shall be performed between the hours of 9:00 PM and 5:00 AM unless otherwise approved by the County.

Payment shall further include all coordination required with federal, state, and local agencies; compliance with permitting requirements; preparation of record documents and certifications; restoration of disturbed areas; installation of signage, landscaping, and sod; and all other appurtenant work necessary to provide a complete, functional, and accepted facility. No separate payment will be made for any item incidental to the completion of this work. All costs shall be included in the Contract lump sum bid price for this Bid Item.

BID ITEM NO. 10 - PREFABRICATED BUILDING AND NECESSARY APPURTENANCES (MEP/HVAC/STRUCTURAL/EQUIPMENT) – NO BRICK VENEER

Payment for all work included in this Bid Item shall be made at the Contract lump sum bid price for furnishing, delivering, and constructing the prefabricated building and all appurtenances as shown on the Contract Drawings and specified herein. Lump sum payment shall represent full compensation for all labor, materials, equipment, supervision, coordination, fabrication, delivery, erection, installation, testing, startup, commissioning, and incidentals required to provide a complete, code-compliant, and fully operational facility, including but not limited to the building structural system, foundations and connections as shown, exterior walls, roof systems, insulation, rated assemblies, doors, windows, architectural finishes, HVAC systems, fire sprinkler system, plumbing systems, fire protection systems, electrical power and lighting systems, life-safety systems, equipment, controls, testing, and closeout documentation. Payment shall also include all coordination between trades, submittals, inspections, permits, restoration of disturbed areas, and all minor or auxiliary items whether or not specifically shown on the plans but required for proper installation and operation of the building. Brick Veneer should not be included in this bid item – an allowance is included in the bid form. No additional compensation shall be made for coordination issues, additional materials, rework, testing, or compliance with codes and standards, as the lump sum bid price shall constitute full compensation for the completed prefabricated building in accordance with the Contract Documents.

BID ITEM NO. 11 - BUILDING FOUNDATION CONCRETE, REINFORCEMENT AND VAPOR BARRIER

Payment for all work included in this Bid Item shall be made at the Contract lump sum bid price for furnishing and installing all building foundation concrete, reinforcement, and vapor barrier as shown on the Contract Drawings and specified herein. Lump sum payment shall represent full compensation for all labor, materials, and equipment required to complete the work, including but not limited to subgrade preparation, excavation, dewatering, formwork, reinforcing steel, welded wire fabric, dowels, anchor bolts, embeds, vapor barrier, granular base, concrete placement including slab depressions, thickened sections, and edge conditions, finishing, curing, sawcutting, testing, and protection, as well as coordination with prefabricated building systems. Payment shall also include all incidentals, code-required items, temporary supports, and minor materials whether or not specifically shown on the plans but required for a complete and acceptable installation. No additional compensation shall be made for excavation below design grades, rock removal, unsuitable material, additional reinforcement, over-excavation, or rework, as the lump sum bid price shall constitute full compensation for the completed building foundation system in accordance with the Contract Documents.

BID ITEM NO. 12 - ELECTRICAL SERVICE EXTENSION

Payment for all work included, but is not limited to, under this Pay Item shall represent full compensation in accordance with the lump sum price bid for the electrical utility and communications service extension, including but not limited to coordination with the County, electrical provider, communications provider, aboveground electrical pole, box, underground connections, and all equipment and labor necessary to comply with required standards.

Measurement for periodic payments of this lump sum Pay Item will be in accordance with

the approved Schedule of Values, to be supplied by the Contractor in accordance with the Contract Documents.

BID ITEM NO. ON SITE/OFF SITE ROADWAY IMPROVEMENTS

Payment for all work included under this Pay Item shall be made at the applicable Contract lump sum price and shall represent full compensation for furnishing and installing all sidewalks, concrete driveways, curbing, pavement restoration, asphalt paving, milling, resurfacing, pavement markings, and all associated appurtenances as shown on the Contract Drawings and listed on the Bid Form. Payment shall include all labor, materials, equipment, testing, traffic control, preparation, restoration, and incidentals necessary to complete the work in accordance with the Contract Documents and ready for approval and acceptance by the County.

Work included under this Pay Item shall include, but not be limited to, removal of existing curbing; furnishing and installation of proposed curb; compaction of subgrade; forming, placing, finishing, and curing concrete; installation of sidewalks and concrete driveways; furnishing, installing, and testing base, subbase, and asphalt pavement; roadway restoration; milling and resurfacing; pavement striping and markings; restoration of pavement markings and signalization loops; and all other work required to provide complete and functional roadway, pedestrian, and site improvements.

Payment shall include complete roadway restoration in accordance with the applicable details shown on the Contract Drawings, including one (1) lift of 1-inch Type S-III asphalt, one (1) lift of 1-inch Type S-I asphalt, eight (8) inches of crushed concrete base with an LBR greater than or equal to 150, subbase materials, compacted suitable excavation material, and all associated testing and quality control required by the Contract Documents. No additional payment shall be made for installation of base, subbase, or asphalt pavement sections thicker than those specified in the Contract Documents.

Where milling and resurfacing are required for roadway restoration associated with the installation of concrete curb, driveways, water services, utilities, or other improvements, the Contractor shall mill 1.5 inches of existing pavement and place 1.5 inches of Asphalt Type SP 9.5, including all labor, materials, equipment, and incidentals necessary to complete the restoration in accordance with County specifications and the Contract Documents.

Payment shall further include furnishing and installing all pavement striping and markings shown on the Contract Drawings, restoration of all disturbed pavement surfaces, and all labor, materials, equipment, and incidentals required to complete the work. No separate payment shall be made for any item incidental to the completion of this work, and all costs shall be included in the Contract lump sum bid price for this Pay Item.

END OF SECTION 01 22 00