



## ADDENDUM NO. 1

**ISSUE DATE:**

May 29, 2025

**FROM:**

Charter Construction Services, Inc.  
2801-C Nash St N.  
Wilson, NC 27896  
Ph: 252-265-0035  
Fax: 252-265-0036  
Email: Monica@TheCharterCompanies.com

**PROJECT:**

Leggett Volunteer Fire Department & Town Hall  
29 Draughn Rd  
Tarboro NC 27886

**BID OPENING:**

2:00pm on June 5, 2025

**BID OPENING LOCATION:**

Leggett Volunteer Fire Department & Town Hall  
29 Draughn Rd  
Tarboro NC 27886

This addendum becomes a part of the Bid and Contract Documents and modifies the original Bid Documents and Original Plans, as noted below. Acknowledge receipt of this Addendum by inserting the number and issue date of this addendum in the blank space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

- 1 – Pre-Bid Meeting Key Notes – Dated 05-15-2025
- 2 – Pre-Bid Meeting Sign-in Sheet – Dated 05-15-2029
- 3 – RFI Log – Dated 05-29-2025
- 4 – Revision 1 Sheets – Dated 05-15-2025
- 5 – Revision 2 Sheets – Dated 05-29-2025

# PRE-BID MEETING AGENDA

LEGGETT VOLUNTEER FIRE DEPARTMENT & TOWN HALL  
29 DRAUGHN RD TARBORO NC 27886  
May 15, 2025

Bid Date	June 5, 2025
Bid Location	Leggett VFD; 29 Draughn Rd Tarboro NC 27886
Bid Time	2:00 PM
Contract	General Construction and Site Preparation
Time of Completion	330 calendar days
Alternates	No 1. Add for Overhead Door Upgrade to Full Glass No 2. Deduct for Storage Building No 3. Add for Overhead Door Upgrade to One Row Glass No 4. Add to Install Full Height Liner Panels No 5. Deduct for Existing Building Demolition

## KEY NOTES

- 1) General Contractor will provide a project supervisor on the site at all times while work is being performed.
- 2) 5% retainage will be applied to this project.
- 3) 5% bid security to be submitted with Bid Package.
- 4) 100% Performance and Payment bond will be required.
- 5) MBE Identification form to be included in bid package.
- 6) The plans have been approved by Edgecombe County Inspections, GC to apply and obtain separate permits for lot 1 and lot 2, GC responsible for permitting fee's.
- 7) GC to coordinate with third party testing, paid for by owner.
- 8) All RFI's are due by EOD May 26, 2025
- 9) Construction should start with the storage building and completion prior to demolition on the existing building.

# SIGN-IN SHEET

LEGGETT VOLUNTEER FIRE DEPARTMENT & TOWN HALL

29 DRAUGHN RD TARBORO NC 27886

[illegible]

May 15, 2025

**LEGGETT VOLUNTEER FIRE DEPARTMENT TOWN HALL**  
**29 DRAUGHN RD TARBORO NC 27886**

**May 29, 2025**

RFI #	QUESTION	ANSWER
1	When is anticipated award?	Owners are looking to award this project shortly after the bid-opening.
2	Clarify SP2 Note regarding alternate.	If deduct <u>Alternate No 2</u> is accepted the project will be completed in one phase.
3	Existing building demolition, permitting, and asbestos testing.	GC to include asbestos testing and demo permit in base bid and in Alternate No 5
4	Please confirm that the existing building must be demolished in order to construct the new fire station. As shown on SP 1 and SP 2 the existing fire station is in the same location as the proposed new fire station, therefore the existing structure must be demolished prior to construction of the new fire station. If this is not the case, please clarify.	The existing building will need to be demo'd prior to construction for the new building on Lot 1.
5	Is the antenna next to the building, the flagpole, and mailboxes part of the demo of the existing building?	Yes
6	Is the existing slab, foundations, and concrete drive part of the demo?	Site demo part of base bid. Building (including foundations) demolition is the alternate.
7	Please confirm there is no asbestos report, and if hazardous materials are found the contractor shall follow Specification Selective Demo (024119-1) section 1.4	No asbestos testing has been completed at this time, refer to RFI 3
8	Are there structural demo specs? There are only specs in the package are for selective demolition.	No structural demolition specifications.
9	When would the existing building be demolished? Phase 1 or phase 2?	The existing building will need to be demo'd after CO on phase 1 (storage building).
10	What type of sealer are you wanting on this concrete floor? Just typical cure and seal or something heavier duty?	Typical cure and seal.

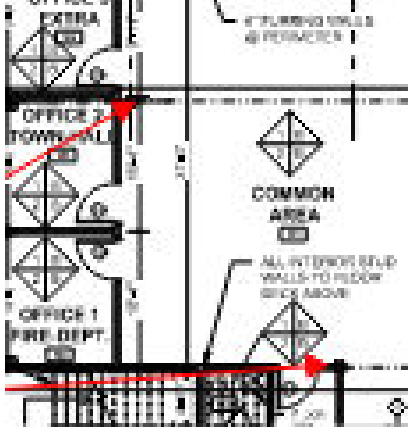
**LEGGETT VOLUNTEER FIRE DEPARTMENT TOWN HALL**  
**29 DRAUGHN RD TARBORO NC 27886**

11	Is the idea that we will build the smaller storage building completely before tearing down the fire station and starting on the new one?	Correct. Building 2 to be completed and owner move in prior to starting Building 1.
12	<p>Please confirm if washer, dryer, and ice machine shown on Pg. B1 of the building one plans are in the contract. Please specify if OPCI or otherwise.</p> <p>If the aforementioned appliances are in the contract to be provided and installed by the contractor, please provide a basis of design.</p>	See finish specification on B-1 Revision 2 sheets for washer and dryer specs. Ice machine to be provided and installed by Owner after CO, GC to include required connections for Owner installation.
13	Can you figure out the treads on the stair in the bay area? It says concrete pan filled but also shows a grated tread. If you can find that out that would be great.	Stairs in truck bay to be grated, interior stairs should be wood. See Revision 2 sheets.
14	The interior stair shows an LVL stringer with concrete treads and the detail shows grated treads also. Can we figure that out as well.	Stairs in truck bay to be grated, interior stairs should be wood. See Revision 2 sheets.
15	The plans are locked to where I cannot scale them to figure out the channel size for the stairs. Please let me know if we can get that fixed.	We are unable to send out unverified plans.
16	Could the project schedule be extended to 13 or 14 months?	Project duration to be 13 months. If alternate no 2 is accepted, project to remain at 11 months.

**LEGGETT VOLUNTEER FIRE DEPARTMENT TOWN HALL**  
**29 DRAUGHN RD TARBORO NC 27886**

17	Can you clarify what kind of Grid and Tile we are to price for this project? I'm thinking just a Standard Fine Fissured Square Edge Tile and 15/16" Intermediate Duty Grid for ACT Type A and Kitchen Zone or VWG Panel & 15/16" Intermediate Duty Grid for ACT Type C (moisture resistant). Please confirm that none of these ceilings are to be Fire Rated. Any additional information or clarifications for Ceiling Types would be helpful.	Reference finish schedule. No ceilings are required to be rated.
18	What is the wall finish behind & above the metal liner panels of the truck bay side of the wall at CL6?	See revision2 on B-4, full height panels on this wall to be included in base bid.
19	Does the wall at CL6 need to be fire rated?	No, wall does not need to be rated.
20	Will the exposed deck and structure be painted?	Yes, exposed structural to be painted.
21	Spec section 054000 CFMF references section 092216 "Non-Structural Metal Framing", this section was not provided. All this framing is considered non-structural, can the architect provide or should we use 054000?	Use Section 054000.
22	Spec section 054000 CFMF requires the framer to submit shop drawings, this is uncommon for non-structural framing. Should we include shop drawings?	Shop drawings are not required.
23	Which bays are acceptable for Portal Frame bracing in both buildings?	Between C/E and 8/9

**LEGGETT VOLUNTEER FIRE DEPARTMENT TOWN HALL**  
**29 DRAUGHN RD TARBORO NC 27886**

24	<p>Are these tube columns to support mezzanine? Are these the only location allowed?</p> 	<p>The two columns indicated are for mezzanine framing. Those are the only locations allowed.</p>
25	<p>Frame line "7" will need to move to 1'4" from the main building in lieu of 6'8". Please confirm this is acceptable.</p>	<p>Yes</p>
26	<p>Can we delete frame line "11" No need for frame 5'4" from endwalls.</p>	<p>Yes</p>
27	<p>On the tube steel building on the lean to side wall can the post be very 4 to 5 ' ? Also on the eave height for the lean to will 11' work instead of 12'8 this is what they r asking me Sent from my iPhone</p>	<p>Posts 4-5' OC for lean to wall is acceptable. Eave height should remain 12'-8"</p>
28	<p>Calling for a closed cell foam insulation spray foam is this what you are looking for?</p>	<p>Refer to B-1 wall legend note #1.</p>
29	<p>Sheet E-1 shows what looks like 2x2 fixtures in the bathrooms but lighting schedule doesn't show any 2x2 fixtures.</p>	<p>This was unintentionally left off of the schedule. The fixture in question is a Lithonia "CPX" 2x2 Led Lighting Panel with Satin White Lens, 120V, 4,000 Lumens &amp; 4,000K Color Temp.</p>
30	<p>Who is providing the cord reels? If under electrical contract is there a spec?</p>	<p>The owner will provide the cord reels but the electrician is responsible for getting power to the location(s) in which is to be coordinated with the owner prior to installation.</p>

**LEGGETT VOLUNTEER FIRE DEPARTMENT TOWN HALL**  
**29 DRAUGHN RD TARBORO NC 27886**

31	Sheet E-2 shows honeywell "e3" system, who furnishes controller is electrical contractor responsible for control raceway?	All wiring by the electrical contractor. Mechanical Contractor shall furnish and install the "E3" system devices
32	What are the specs on Automatic Transfer Switch?	Auto Transfer Switch shall be provided by the generator manufacturer and shall be suitable for the generator. Contractor shall review generator specs & ATS with the manufacturer prior to ordering equipment.



*Phased Site Plan for*  
**LEGGETT VOLUNTEER  
FIRE DEPARTMENT**  
*29 Draughn Road  
Town of Leggett  
Edgecombe County, North Carolina  
May 2025*

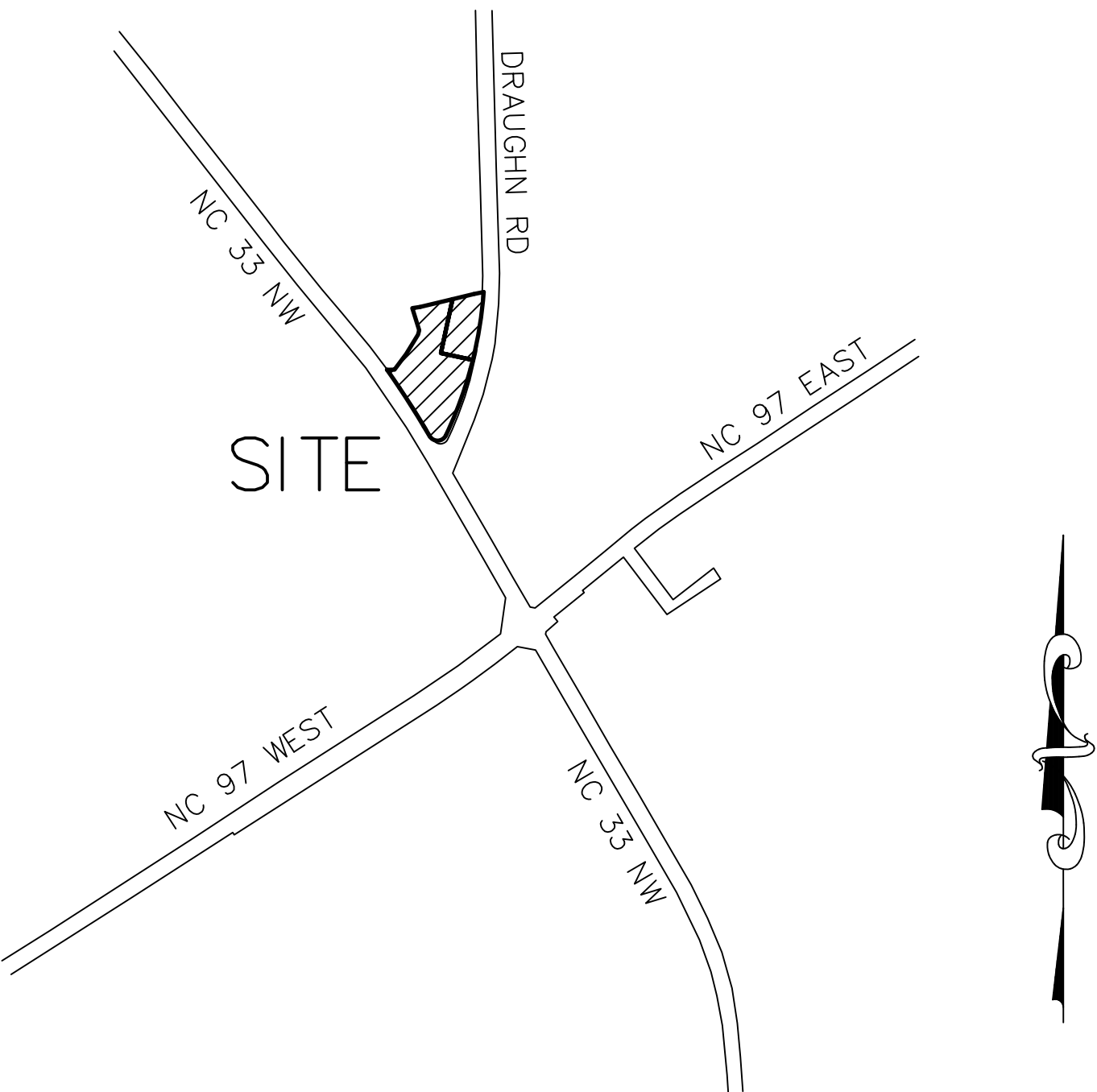
OWNER:  
LEGGETT VFD  
29 DRAUGHN RD  
TARBORO, NC 27886

OWNER REPRESENTATIVE :  
CHARTER CONSTRUCTION  
SERVICES, INC.  
2801-C NASH STREET NW  
WILSON, NC 27896  
TELE: (252) 265-0035

PREPARED BY:  
BARTLETT ENGINEERING & SURVEYING, PC  
1906 NASH STREET NORTH  
WILSON, NORTH CAROLINA 27893-1726  
TELE: (252) 399-0704

SHEET INDEX

- |     |   |
|-----|---|
| CV  | COVER SHEET   |
| LGD | LEGEND  |
| SP1 | EXISTING CONDITIONS   |
| SP2 | OVERALL SITE LAYOUT   |
| SP3 | PHASE 1 SITE & UTILITIES PLAN                                 |
| SP4 | PHASE 1 GRADING PLAN  |
| SP5 | PHASE 2 DEMOLITION PLAN                                       |
| SP6 | PHASE 2 SITE & UTILITIES PLAN                                 |
| SP7 | PHASE 2 GRADING PLAN  |
| SP8 | PHASE 1 AND PHASE 2 SEDIMENTATION<br>AND EROSION CONTROL PLAN |
| DT1 | DETAILS   |
| DT2 | EROSION CONTROL DETAILS                                       |



LOCATION MAP  
NO SCALE

Revision date:	Description:
15 MAY 2025	PAVING NOTES

**BARTLETT**  
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FAX: (252) 399-0804  
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COVER SHEET

Project:  
LEGGETT VOLUNTEER  
FIRE DEPARTMENT

Sheet Title:

NO. 5 TOWNSHIP  
EDGECOMBE COUNTY  
Zone: B-2  
Pin Number: 4811-98-7817

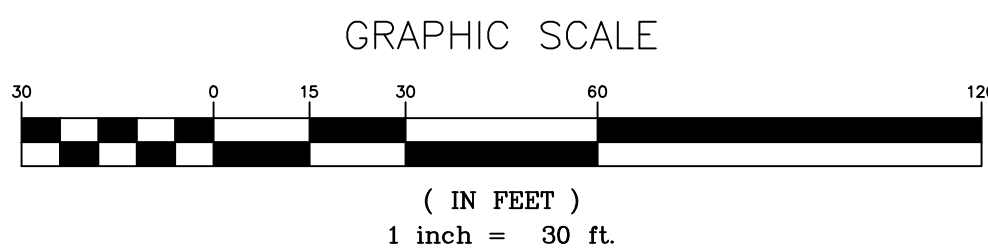
Project Number:	24-200
Date:	MAY 2025
Client Code:	CONDAW
Scale (Horz.):	N/A
Scale (Vert.):	N/A
Survey By:	
Field Book:	
Drawn By:	LR
Sheet:	CV



CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	CHD BRG
C7	35.821	1308.72	1°34'06"	N5°00'12"E
C8	216.069	1308.72	9°27'34"	N10°31'02"E
C9	62.866	1308.72	2°45'08"	S16°37'23"W
C10	167.284	1308.72	7°19'25"	S21°39'40"W
C11	64.877	30.00	123°54'24"	S87°16'53"W
C12	145.986	2813.02	2°58'24"	N32°14'49"W
C13	72.162	2813.02	1°28'11"	N34°28'07"W

Line Table		
Line #	Length	Direction
L1	24.19	N89°16'28"E
L2	14.64	N15°07'48"E
L3	25.00	N81°35'30"E
L4	32.56	N78°52'14"E
L5	36.94	N30°45'37"W

PAVEMENT  
MATERIAL CALLED  
OUT (TYP. FOR  
REVISION CLOUDS)



	STANDARD ASPHALT PAVING
	HEAVY DUTY ASPHALT PAVING

NOTE: IF DEDUCT ALT. 2 IS ACCEPTED, PROJECT WILL BE COMPLETED IN ONE PHASE.

MAX. BUILDING HEIGHT	40'
LAND USE	FIRE DEPARTMENT/STORAGE BUILDING
OWNER:	LEGGETT VFD 29 DRAUGHN RD TARBORO, NC 27886
STREET ADDRESS	29 DRAUGHN RD
PIN NO.	4811-98-7817 4821-09-8851 (PORTION OF)
REFERENCES	DEED BOOK 1303 PAGE 805 DEED BOOK 1814 PAGE 572-574 PLAT CABINET 14 SLIDE 142

PHASE 1
IMPERVIOUS AREA PROPOSED= 7,094 SF

PHASE 2
IMPERVIOUS AREA PROPOSED= 23,947 SF

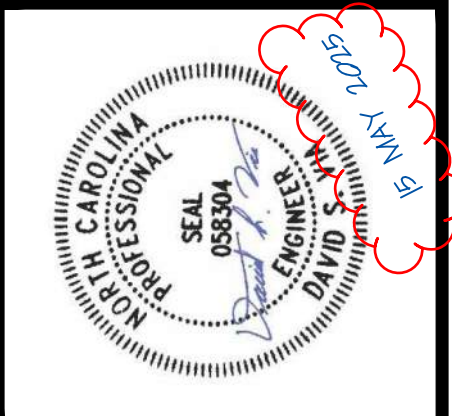
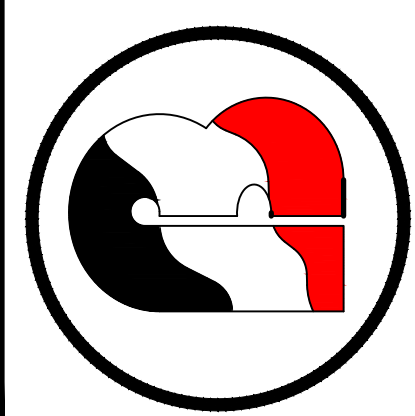
LOT 2
TOTAL AREA= 20,857 SF (0.48) AC
EXIST. IMPERVIOUS AREA= 0
NET AREA= 43,932 SF
IMPERVIOUS AREA ALLOWED (24%)= 5,006 SF
IMPERVIOUS AREA PROPOSED= 4,929 SF

LOT 1
TOTAL AREA= 62,887 SF (1.44 AC)
EXIST. IMPERVIOUS AREA= 18,955 SF
NET AREA= 43,932 SF
ADDITIONAL IMPERVIOUS AREA ALLOWED= 10,544 SF (24% OF NET AREA)
TOTAL IMPERVIOUS AREA ALLOWED= 29,499 SF
TOTAL IMPERVIOUS AREA PROPOSED= 22,961 SF

<u>SITE DATA</u>			
TOTAL AREA		1.92 AC	(83,744 SF)
	LOT 1	1.44 AC	(62,887 SF)
	LOT 2	0.48 AC	(20,857 SF)
TOTAL # LOTS		2	
ZONING		B-2	
MIN. BLDG. LINES		FRONT	30'
		SIDE	10'
		REAR	25'



**BARTLETT**  
ENGINEERING & SURVEYING, PC



Project: **LEGGETT VOLUNTEER  
FIRE DEPARTMENT**

NO. 5 TOWNSHIP  
EDGEcombe COUNTY  
Zone: B-2  
Pin Number: 4811-98-7817

Project Number: 24-200  
Date: MAY 2025  
Client Code: CONDAW  
Scale (Horz.): 1" = 30'  
Scale (Vert.): N/A  
Survey By:  
Field Book:  
Drawn By: LR  
Sheet: **SP2**

Revision date: 15 MAY 2025  
Description: PAVING EDITS

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Wilson, NC 27853-1726  
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L3	25.00	N81°35'30"E
L4	32.56	N78°52'14"E
L5	36.94	N30°45'37"W

SSMH  
TOP=65.38  
INV IN=50.58 (NE)

SSMH  
TOP=65.91  
INV IN=51.21 (N)  
INV OUT=51.03 (SW)

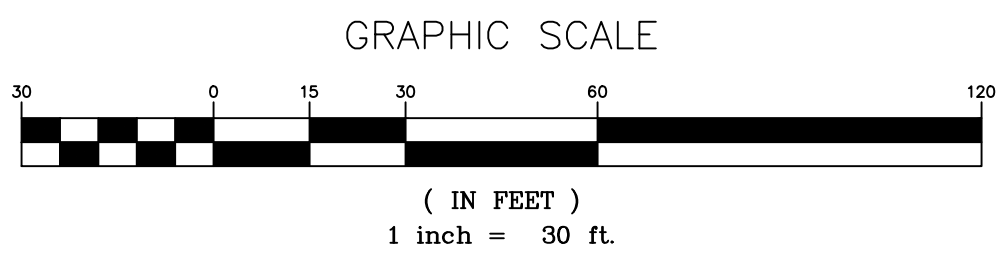
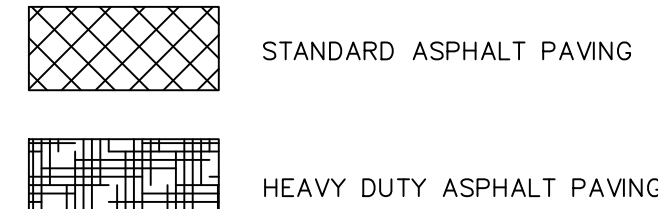
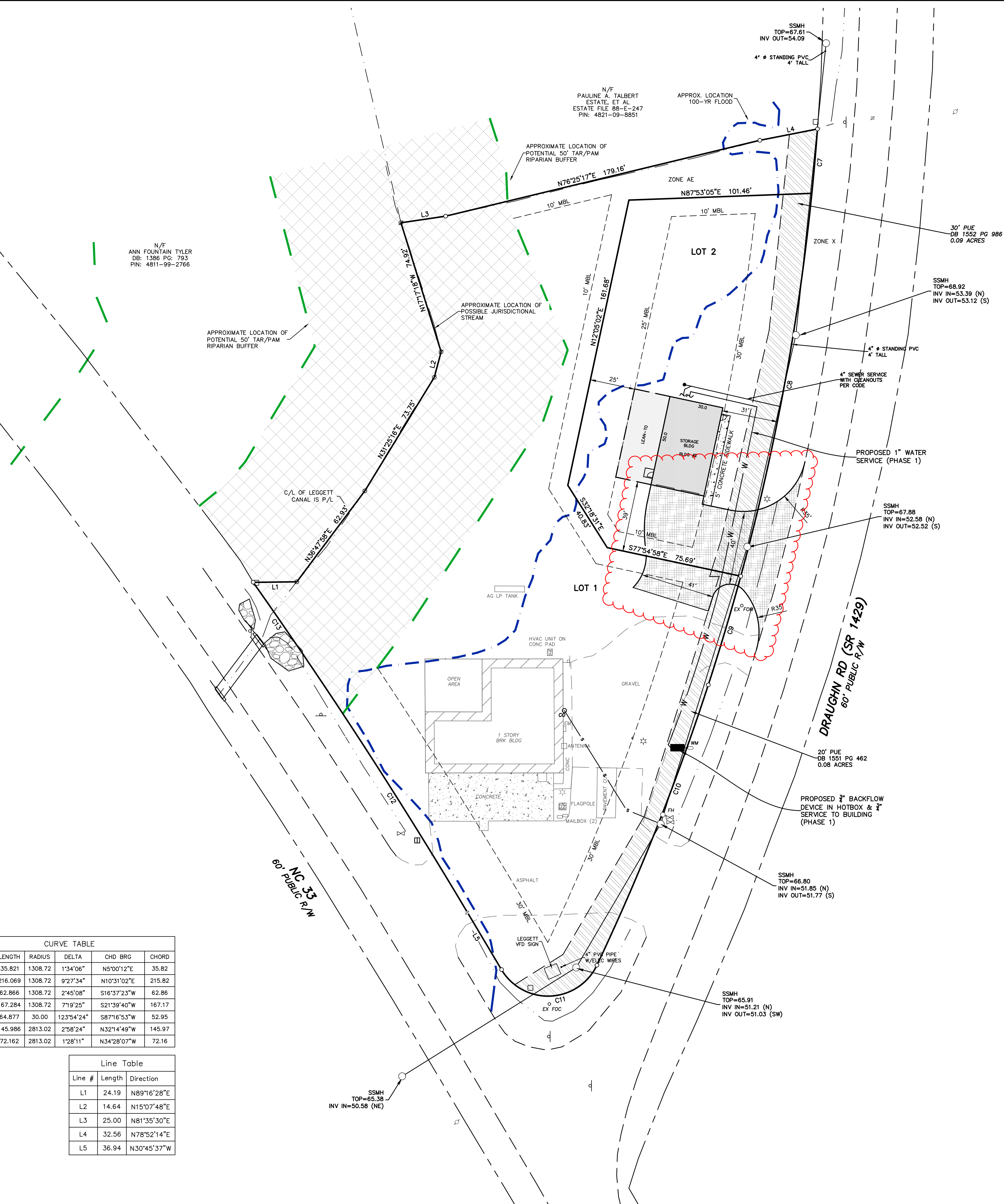
SSMH  
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INV OUT=51.77 (S)

SSMH  
TOP=68.92  
INV IN=53.39 (N)  
INV OUT=53.12 (S)

SSMH  
TOP=67.61  
INV OUT=54.09

PAULINE A. TALBERT  
ESTATE, ET AL  
ESTATE FILE 88-E-247  
PIN: 4821-09-8851

N/F  
ANN FOUNTAIN TYLER  
DB: 1386 PG: 793  
PIN: 4811-99-2766



SITE DATA	
TOTAL AREA	1.92 AC (83,744 SF)
LOT 1	1.44 AC (62,887 SF)
LOT 2	0.48 AC (20,857 SF)
TOTAL # LOTS	2
ZONING	B-2
MIN. BLDG. LINES	FRONT 30' SIDE 10' REAR 25'
LOT 2	
TOTAL AREA=	20,857 SF (0.48) AC
EXIST. IMPERVIOUS AREA=	0
NET AREA=	43,932 SF
IMPERVIOUS AREA ALLOWED (24%)=	5,006 SF
IMPERVIOUS AREA PROPOSED=	4,929 SF

MAX. BUILDING HEIGHT	40'
LAND USE	FIRE DEPARTMENT/STORAGE BUILDING
OWNER:	LEGGETT VFD 29 DRAUGHN RD TARBORO, NC 27886
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REFERENCES	DEED BOOK 1303 PAGE 805 DEED BOOK 1814 PAGE 572-574 PLAT CABINET 14 SLIDE 142

NOTES:

A PORTION OF THIS PROPERTY IS LOCATED IN A FLOOD HAZARD AREA, PANEL NO. 3720481100K, DATED 6/2/2015.

NO WETLANDS HAVE BEEN DELINEATED IN THE AREA BEING DEVELOPED.

ALL DISTANCES ARE HORIZONTAL UNLESS NOTED OTHERWISE.

NO CEMETERIES FOUND ON THE PROPERTY.

AREAS COMPUTED BY COORDINATE CALCULATIONS.

ALL PROPOSED SPOT ELEVATIONS ARE ASPHALT / STONE GRADE, OR AS NOTED.

ALL OUTDOOR LIGHTING SHALL BE SHIELDED IN SUCH A MANNER THAT NO DIRECT GLARE FROM THE LIGHT SOURCE CAN BE SEEN FROM A MAJOR THOROUGHFARE, AN ADJOINING ZONING DISTRICT, OR FROM ABOVE.

ALL TRAFFIC CONTROL DEVICES, PAVEMENT MARKINGS, SIGNS AND SIGNALS SHALL BE DESIGNED, INSTALLED AND MAINTAINED IN CONFORMANCE WITH THE STANDARDS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK ZONE TRAFFIC CONTROL IN OR ADJACENT TO NCDOT OR CITY R/W. ALL METHODS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.

THE UTILITY LOCATIONS SHOWN ON THIS MAP ARE APPROXIMATE ONLY, AND ARE NOT RELIABLE FOR CONSTRUCTION PURPOSES. FOR ACTUAL FIELD LOCATIONS CALL 1-800-632-4949 OR 811 3 WORKING DAYS PRIOR TO CONSTRUCTION.

DRIVEWAYS TO BE CROWNED AND PARKING AREAS GRADED SUCH THAT STORMWATER DOES NOT FLOW OUT DRIVEWAYS.

ALL PARKING AND DRIVE AREAS TO BE ASPHALT OR CONCRETE.

ACCESSIBLE RAMPS SHALL HAVE SLOPE NO GREATER THAN 1:12.

ALL REQUIRED EXITS TO BE HANDICAP ACCESSIBLE.

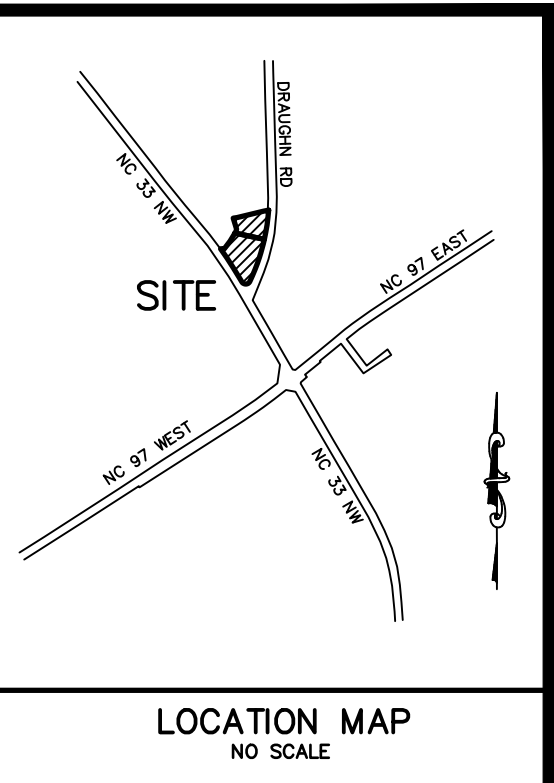
ALL HANDICAP ACCESSIBLE AREAS INCLUDING REQUIRED EXITS AND CURB CUTS FOR ACCESS SHALL CONFORM TO THE REQUIREMENTS OF NC BUILDING CODE AND ICC A117.1-2009 AMERICAN NATIONAL STANDARD (ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES). ALL HANDICAP ACCESSIBLE AREAS SHALL NOT EXCEED 1/4" PER FOOT CROSS-SLOPE.

STANDARD R7-8A RESERVE PARKING AND MAXIMUM PENALTY \$250 NCGS 20-37.6 SIGNS MUST BE INSTALLED IN FRONT OF THE HANDICAP PARKING SPACES. VAN ACCESSIBLE SIGN(S) MUST BE PROVIDED IN FRONT OF ALL VAN ACCESSIBLE SPACES.

CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF RELOCATION OF ANY UTILITY POLES. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING/RELOCATION OF ANY OTHER UTILITIES AS REQUIRED (INCLUDING BUT NOT LIMITED TO MANHOLE TOPS, VALVE BOXES, ETC.)

NO SEWER SERVICE REQUIRED FOR LOT 1 PHASE 1.

COORDINATE ELECTRICAL SERVICE WITH OWNER AND UTILITY PROVIDER.

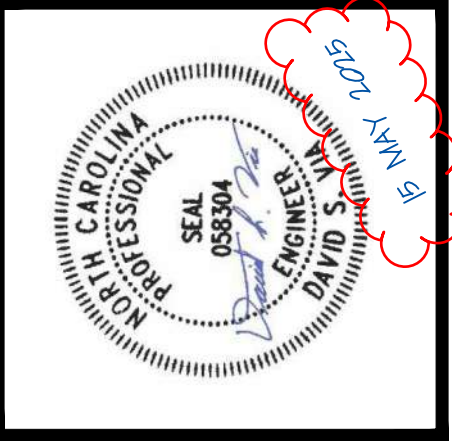


Revision date:	15 MAY 2025	Description:	PAVING EDITS

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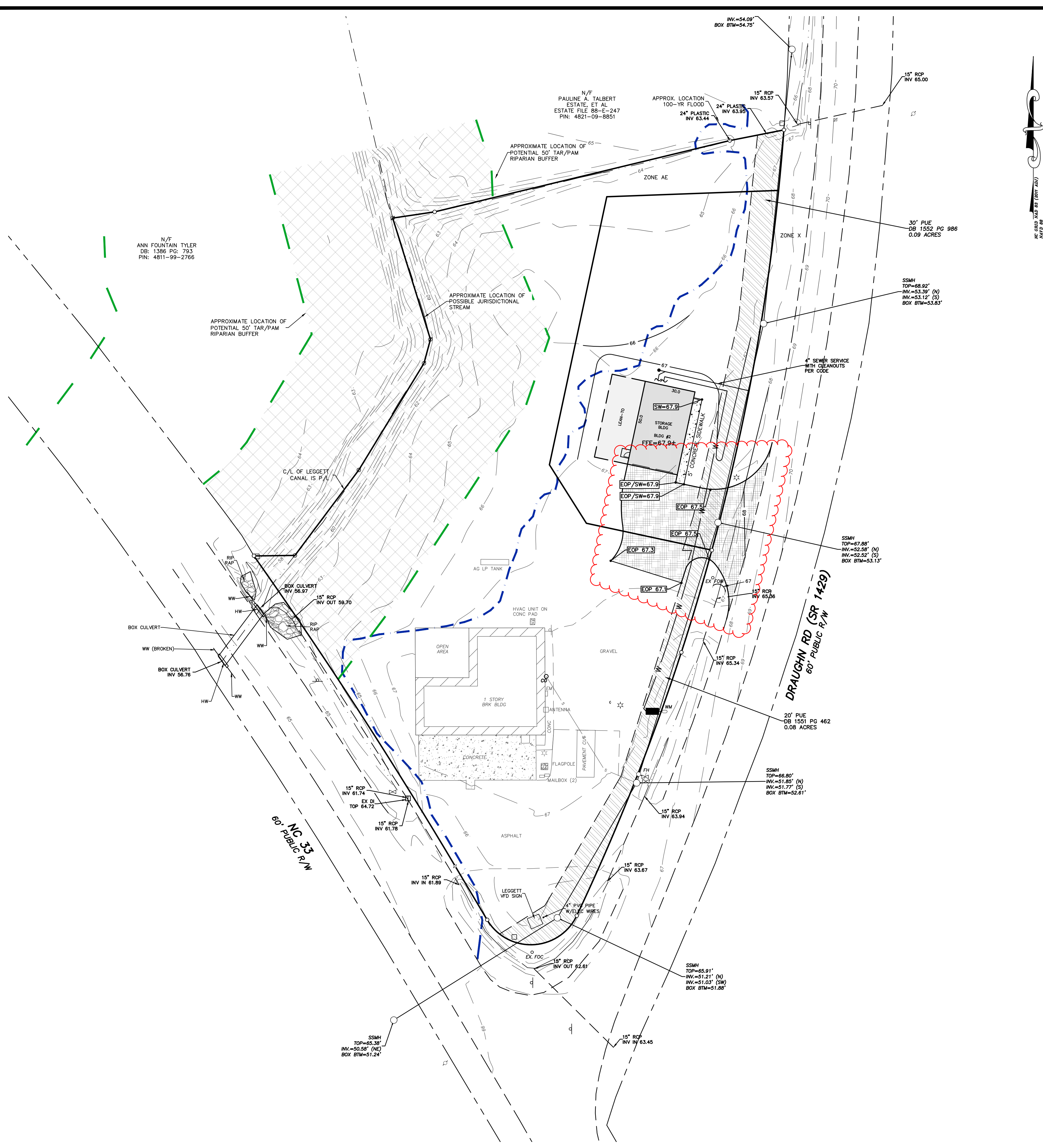
Sheet Title: PHASE 1 SITE & UTILITIES PLAN

Project: LEGGETT VOLUNTEER FIRE DEPARTMENT

NO. 5 TOWNSHIP  
EDGEcombe COUNTY  
Zone: B-2  
Pin Number: 4811-98-7817

Project Number: 24-200  
Date: MAY 2025  
Client Code: CONDAW  
Scale (Horz.): 1" = 30'  
Scale (Vert.): N/A  
Survey By:  
Field Book:  
Drawn By: LR  
Sheet: SP3





**SITE NOTES:**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK ZONE TRAFFIC CONTROL IN OR ADJACENT TO NCDOT OR TOWN RIGHT-OF-WAY. ALL METHODS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.

CONTRACTOR TO COORDINATE INSTALLATION OF CONDUITS FOR PHONES & LIGHTING.

UNUSABLE EXCAVATED MATERIALS AND ALL WASTE RESULTING FROM CLEARING AND GRUBBING SHALL BE DISPOSED OF AT AN APPROVED PERMITTED OFF-SITE LOCATION BY CONTRACTOR.

CONTRACTOR RESPONSIBLE FOR COMPLYING WITH ALL REQUIREMENTS/ CONDITIONS OF ALL ENCROACHMENTS & PERMITS INCLUDING PROVIDING BONDS/INSURANCE IF REQUIRED.

CONTRACTOR IS RESPONSIBLE FOR COORDINATING REQUIRED INSPECTIONS.

CALL ONE CALL CENTER AT 1-800-632-4949 OR 811 FOR LOCATIONS OF EXISTING UTILITIES THREE WORKING DAYS MINIMUM PRIOR TO EXCAVATION.

**EXCAVATION AND GRADING PLAN NOTES:**

ALL AREAS NOT COVERED BY BUILDING OR PAVING TO BE GRASSED, LANDSCAPED OR LEFT NATURAL AS INDICATED.

CONTRACTOR SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING OR CONNECTING TO SAID FACILITIES. CONTRACTOR SHALL RAISE OR LOWER TOPS OF EXISTING MANHOLES AS REQUIRED TO MATCH FINISHED GRADES.

BEFORE ANY MACHINE WORK IS DONE, CONTRACTOR SHALL STAKE OUT AND MARK ITEMS ESTABLISHED BY THE SITE PLAN. CONTROL POINTS SHALL BE PRESERVED AT ALL TIMES DURING THE COURSE OF THE PROJECT. LACK OF THE PROPER WORKING POINTS AND GRADE STAKES MAY REQUIRE CESSATION OF OPERATIONS UNTIL SUCH POINTS AND GRADES HAVE BEEN REPLACED TO THE OWNERS SATISFACTION.

**EXISTING CONDITIONS:**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL EXISTING JOB CONDITIONS. ANY ADVERSE CONDITIONS AFFECTING WORK SHOWN ON THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR POSSIBLE CLARIFICATION OR RECONCILIATION.

**CONSTRUCTION SAFETY:**

THESE DRAWINGS DO NOT CONTAIN THE REQUIREMENTS FOR JOB SAFETY. ALL PROVISIONS FOR SAFETY SHALL BE SOLE RESPONSIBILITY OF THE CONTRACTOR.

**STRUCTURAL FILL:**

SEE SPECIFICATIONS FOR STRUCTURAL FILL INFORMATION.

**OFFSITE BORROW / TRENCH BORROW:**

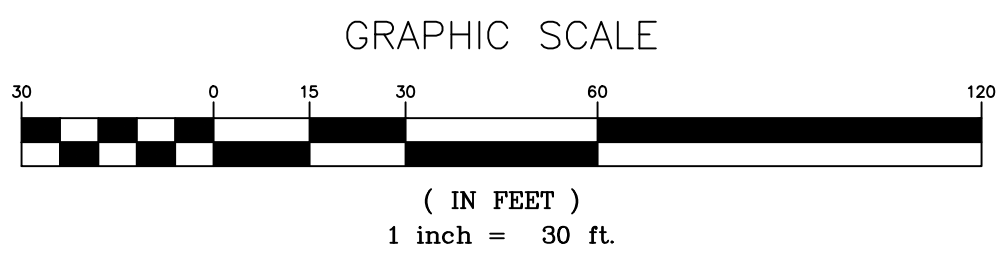
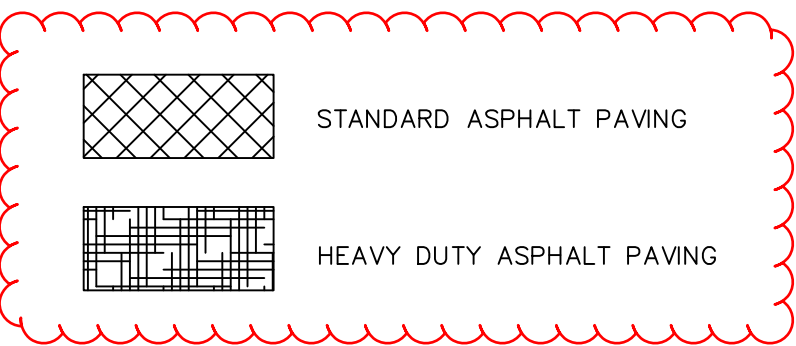
OFFSITE BORROW MATERIAL PLACED ON SITE SHOULD BE LOW PLASTICITY (PI LESS THAN 25 AND LL LESS THAN 50) AND SHALL BE FREE OF ORGANIC MATERIAL OR DEBRIS. PLACE FILL IN 8" TO 10" LOOSE LIFTS AND COMPACT TO 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY, ASTM D698. THE MOISTURE CONTENT OF THE SOIL SHOULD BE MAINTAINED WITHIN  $\pm 3$  PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT DETERMINED BY THE SAME TEST. OFF-SITE BORROW MATERIAL TO BE OBTAINED FROM A PERMITTED SOURCE.

**ADA AND LEGAL DISCLAIMER:**

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**GAS NOTE:**

THERE SHOULD BE A MINIMUM OF 3 FT OF SUITABLE FILL BETWEEN THE EXISTING MAIN AND ANY ROCK, CONCRETE OR ASPHALT INSTALLED.



Revision date:		Description:	
15 MAY 2025	PAVING EDITS		

**BARTLETT**  
ENGINEERING & SURVEYING, PC

1906 Nash Street North  
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License # C-1531

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PHASE 1 GRADING PLAN

Project:  
NO. 5 TOWNSHIP  
EDGECOMBE COUNTY  
Zone: B-2  
Pin Number: 4811-98-7817

LEGGETT VOLUNTEER  
FIRE DEPARTMENT

Project Number:	24-200
Date:	MAY 2025
Client Code:	CONDAW
Scale (Horz.):	1" = 30'
Scale (Vert.):	N/A
Survey By:	
Field Book:	
Drawn By:	LR
Sheet:	SP4

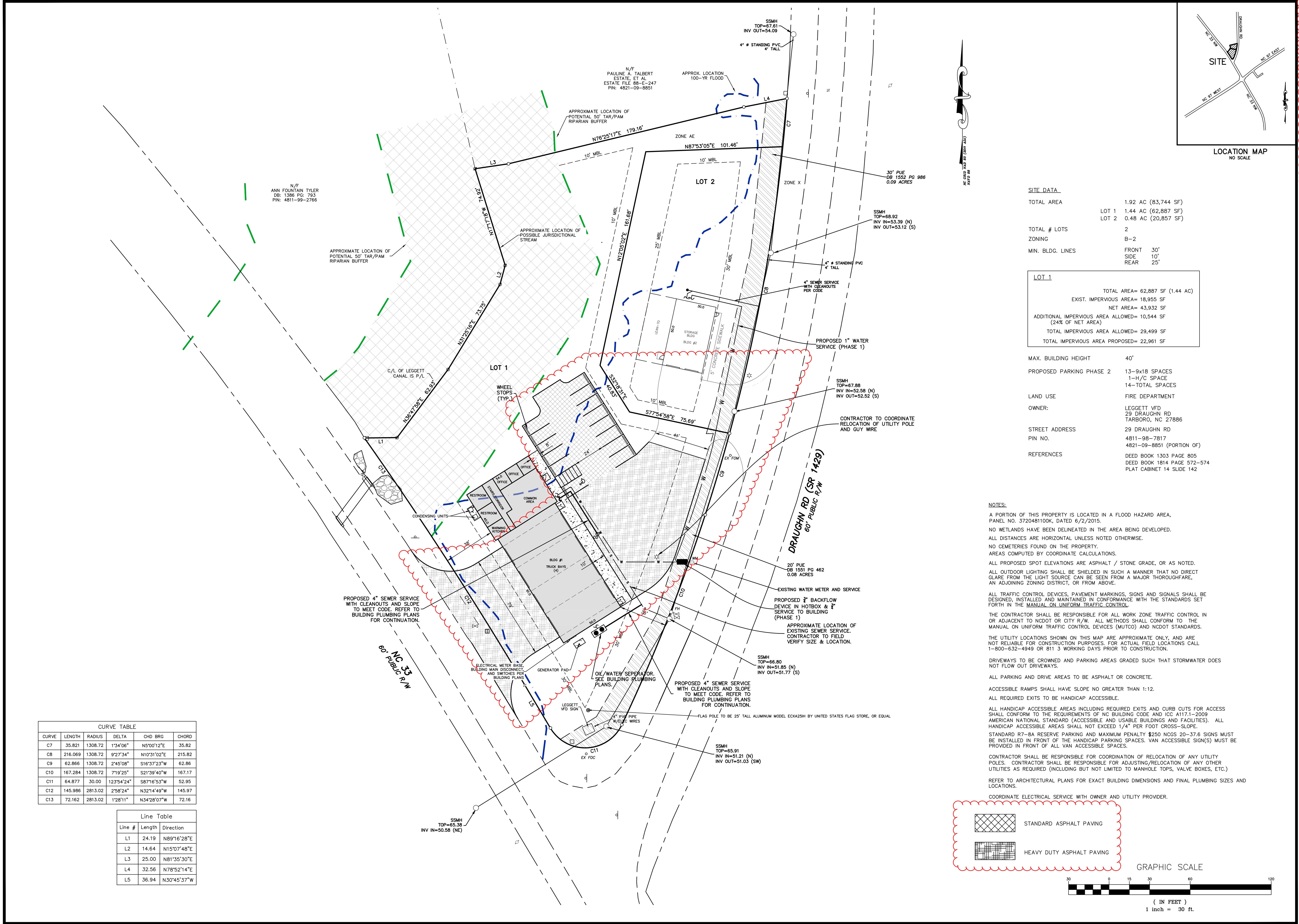
Y:\SHARED\\_BARTLETT ENGINEERING & SURVEYING, PC\\_PROJECT FOLDERS\24-200 LEGGETT VFD-MAN SITE\DWG\24200SP3.DWG, 5/19/2025 8:37:16 AM

PLOT DATE: 5/19/25



CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHD BRG	CHORD
C7	35.821	1308.72	1°34'06"	N5°00'12"E	35.82
C8	216.069	1308.72	9°27'34"	N10°31'02"E	215.82
C9	62.866	1308.72	2°45'08"	S16°37'23"W	62.86
C10	167.284	1308.72	7°19'25"	S21°39'40"W	167.17
C11	64.877	30.00	12°54'24"	S87°16'53"W	52.95
C12	145.986	2813.02	2°58'24"	N32°14'49"W	145.97
C13	72.162	2813.02	1°28'11"	N34°28'07"W	72.16

Line Table		
Line #	Length	Direction
L1	24.19	N89°16'28"E
L2	14.64	N15°07'48"E
L3	25.00	N81°35'30"E
L4	32.56	N78°52'14"E
L5	36.94	N30°45'37"W



SITE DATA	
TOTAL AREA	1.92 AC (83,744 SF)
LOT 1	1.44 AC (62,887 SF)
LOT 2	0.48 AC (20,857 SF)
TOTAL # LOTS	2
ZONING	B-2
MIN. BLDG. LINES	FRONT 30'
	SIDE 10'
	REAR 25'
LOT 1	
TOTAL AREA= 62,887 SF (1.44 AC)	
EXIST. IMPERVIOUS AREA= 18,955 SF	
NET AREA= 43,932 SF	
ADDITIONAL IMPERVIOUS AREA ALLOWED= 10,544 SF	
(24% OF NET AREA)	
TOTAL IMPERVIOUS AREA ALLOWED= 29,499 SF	
TOTAL IMPERVIOUS AREA PROPOSED= 22,961 SF	

MAX. BUILDING HEIGHT	40'
PROPOSED PARKING PHASE 2	13-9x18 SPACES 1-H/C SPACE 14-TOTAL SPACES
LAND USE	FIRE DEPARTMENT
OWNER:	LEGGETT VFD 29 DRAUGHN RD TARBORO, NC 27886
STREET ADDRESS	29 DRAUGHN RD
PIN NO.	4811-98-7817 4821-09-8851 (PORTION OF)
REFERENCES	DEED BOOK 1303 PAGE 805 DEED BOOK 1814 PAGE 572-574 PLAT CABINET 14 SLIDE 142

NOTES:

A PORTION OF THIS PROPERTY IS LOCATED IN A FLOOD HAZARD AREA, PANEL NO. 3720481100K, DATED 6/2/2015.

NO WETLANDS HAVE BEEN DELINEATED IN THE AREA BEING DEVELOPED.

ALL DISTANCES ARE HORIZONTAL UNLESS NOTED OTHERWISE.

NO CEMETERIES FOUND ON THE PROPERTY.

AREAS COMPUTED BY COORDINATE CALCULATIONS.

ALL PROPOSED SPOT ELEVATIONS ARE ASPHALT / STONE GRADE, OR AS NOTED.

ALL OUTDOOR LIGHTING SHALL BE SHIELDED IN SUCH A MANNER THAT NO DIRECT GLARE FROM THE LIGHT SOURCE CAN BE SEEN FROM A MAJOR THOROUGHFARE, AN ADJOINING ZONING DISTRICT, OR FROM ABOVE.

ALL TRAFFIC CONTROL DEVICES, PAVEMENT MARKINGS, SIGNS AND SIGNALS SHALL BE DESIGNED, INSTALLED AND MAINTAINED IN CONFORMANCE WITH THE STANDARDS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK ZONE TRAFFIC CONTROL IN OR ADJACENT TO NCDOT OR CITY R/W. ALL METHODS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.

THE UTILITY LOCATIONS SHOWN ON THIS MAP ARE APPROXIMATE ONLY, AND ARE NOT RELIABLE FOR CONSTRUCTION PURPOSES. FOR ACTUAL FIELD LOCATIONS CALL 1-800-632-4949 OR 811 3 WORKING DAYS PRIOR TO CONSTRUCTION.

DRIVEWAYS TO BE CROWNED AND PARKING AREAS GRADED SUCH THAT STORMWATER DOES NOT FLOW OUT DRIVEWAYS.

ALL PARKING AND DRIVE AREAS TO BE ASPHALT OR CONCRETE.

ACCESSIBLE RAMPS SHALL HAVE SLOPE NO GREATER THAN 1:12.

ALL REQUIRED EXITS TO BE HANDICAP ACCESSIBLE.

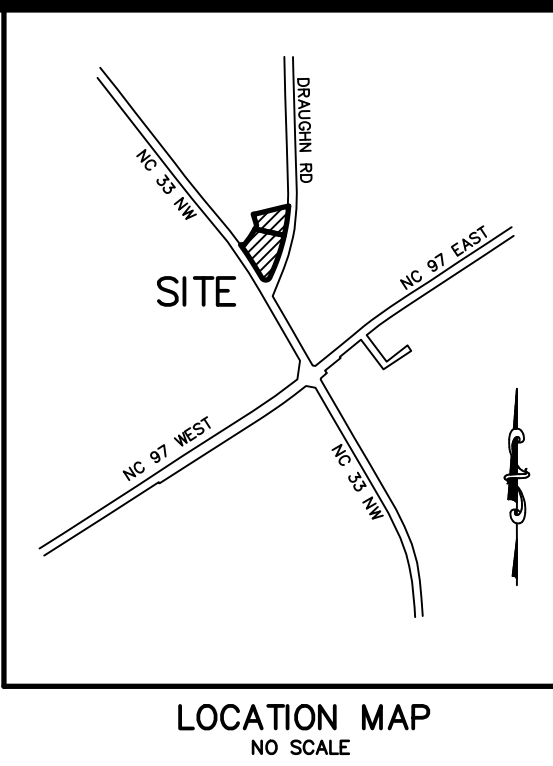
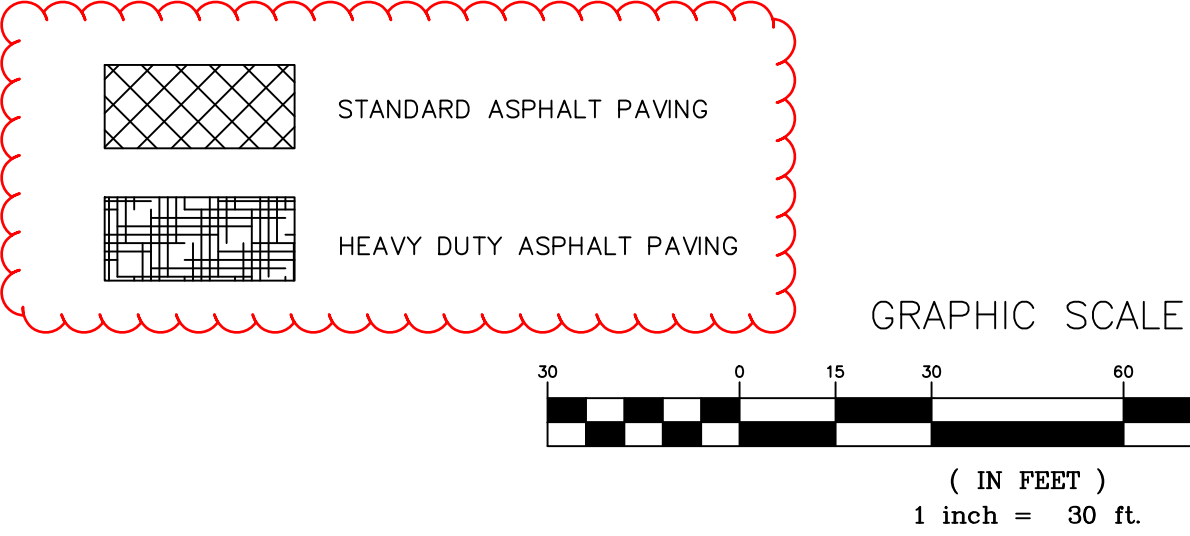
ALL HANDICAP ACCESSIBLE AREAS INCLUDING REQUIRED EXITS AND CURB CUTS FOR ACCESS SHALL CONFORM TO THE REQUIREMENTS OF NC BUILDING CODE AND ICC A117.1-2009 AMERICAN NATIONAL STANDARD (ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES). ALL HANDICAP ACCESSIBLE AREAS SHALL NOT EXCEED 1/4" PER FOOT CROSS-SLOPE.

STANDARD R7-8A RESERVE PARKING AND MAXIMUM PENALTY \$250 NCGS 20-37.6 SIGNS MUST BE INSTALLED IN FRONT OF THE HANDICAP PARKING SPACES. VAN ACCESSIBLE SIGN(S) MUST BE PROVIDED IN FRONT OF ALL VAN ACCESSIBLE SPACES.

CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF RELOCATION OF ANY UTILITY POLES. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING/RELOCATION OF ANY OTHER UTILITIES AS REQUIRED (INCLUDING BUT NOT LIMITED TO MANHOLE TOPS, VALVE BOXES, ETC.)

REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND FINAL PLUMBING SIZES AND LOCATIONS.

COORDINATE ELECTRICAL SERVICE WITH OWNER AND UTILITY PROVIDER.



Revision date:  
15 MAY 2025

Description:  
PAVING EDITS

Project:  
NO. 5 TOWNSHIP  
EDGEcombe COUNTY  
Zone:  
Pin Number: 4811-98-7817

Project:  
LEGGETT VOLUNTEER  
FIRE DEPARTMENT

Project Number: 24-200

Date: MAY 2025

Client Code: CONDAW

Scale (Horz.): 1" = 30'

Scale (Vert.): N/A

Survey By:

Field Book:

Drawn By: LR

Sheet: SP6

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www.bartletteng.com

Seal of the North Carolina Professional Engineer, David S. Bartlett, License # C-1531

Plot Date: 5/19/25



N/F  
ANN FOUNTAIN TYLER  
DB: 1386 PG. 793  
PIN: 4811-99-2766

APPROXIMATE LOCATION OF  
POTENTIAL 50' TAR/PAM  
RIPARIAN BUFFER

LOT 1

LOT 2

N/F  
PAULINE A TALBERT  
ESTATE, ET AL  
ESTATE FILE 88-E-247  
PIN: 4821-09-8851

APPROX. LOCATION  
100-YR FLOOD  
24" PLASTIC  
INV 63.95

APPROXIMATE LOCATION OF  
POTENTIAL 50' TAR/PAM  
RIPARIAN BUFFER

APPROXIMATE LOCATION OF  
POSSIBLE JURISDICTIONAL  
STREAM

NO 33  
60' PUBLIC R/W

DRAUGHN RD (SR 1429)  
60' PUBLIC R/W

#### SITE NOTES:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK ZONE TRAFFIC CONTROL IN OR ADJACENT TO NDDOT OR TOWN RIGHT-OF-WAY. ALL METHODS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NDDOT STANDARDS.

CONTRACTOR TO COORDINATE INSTALLATION OF CONDUITS FOR PHONES & LIGHTING.

UNUSABLE EXCAVATED MATERIALS AND ALL WASTE RESULTING FROM CLEARING AND GRUBBING SHALL BE DISPOSED OF AT AN APPROVED PERMITTED OFF-SITE LOCATION BY CONTRACTOR.

CONTRACTOR RESPONSIBLE FOR COMPLYING WITH ALL REQUIREMENTS/ CONDITIONS OF ALL ENCROACHMENTS & PERMITS INCLUDING PROVIDING BONDS/INSURANCE IF REQUIRED.

CONTRACTOR IS RESPONSIBLE FOR COORDINATING REQUIRED INSPECTIONS.

CALL ONE CALL CENTER AT 1-800-632-4949 OR 811 FOR LOCATIONS OF EXISTING UTILITIES THREE WORKING DAYS MINIMUM PRIOR TO EXCAVATION.

#### EXCAVATION AND GRADING PLAN NOTES:

ALL AREAS NOT COVERED BY BUILDING OR PAVING TO BE GRASSED, LANDSCAPED OR LEFT NATURAL AS INDICATED.

CONTRACTOR SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING OR CONNECTING TO SAID FACILITIES. CONTRACTOR SHALL RAISE OR LOWER TOPS OF EXISTING MANHOLES AS REQUIRED TO MATCH FINISHED GRADES.

BEFORE ANY MACHINE WORK IS DONE, CONTRACTOR SHALL STAKE OUT AND MARK ITEMS ESTABLISHED BY THE SITE PLAN. CONTROL POINTS SHALL BE PRESERVED AT ALL TIMES DURING THE COURSE OF THE PROJECT. LACK OF THE PROPER WORKING POINTS AND GRADE STAKES MAY REQUIRE CESSATION OF OPERATIONS UNTIL SUCH POINTS AND GRADES HAVE BEEN REPLACED TO THE OWNERS SATISFACTION.

#### EXISTING CONDITIONS:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL EXISTING JOB CONDITIONS. ANY ADVERSE CONDITIONS AFFECTING WORK SHOWN ON THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR POSSIBLE CLARIFICATION OR RECONCILIATION.

#### CONSTRUCTION SAFETY:

THESE DRAWINGS DO NOT CONTAIN THE REQUIREMENTS FOR JOB SAFETY. ALL PROVISIONS FOR SAFETY SHALL BE SOLE RESPONSIBILITY OF THE CONTRACTOR.

#### STRUCTURAL FILL:

SEE SPECIFICATIONS FOR STRUCTURAL FILL INFORMATION.

#### OFFSITE BORROW / TRENCH BORROW:

OFFSITE BORROW MATERIAL PLACED ON SITE SHOULD BE LOW PLASTICITY (PI LESS THAN 25 AND LL LESS THAN 50) AND SHALL BE FREE OF ORGANIC MATERIAL OR DEBRIS. PLACE FILL IN 8" TO 10" LOOSE LIFTS AND COMPACT TO 95% OF STANDARD PROCTOR MAXIMUM DRY DENSITY, ASTM D998. THE MOISTURE CONTENT OF THE SOIL SHOULD BE MAINTAINED WITHIN  $\pm 3$  PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT DETERMINED BY THE SAME TEST. OFF-SITE BORROW MATERIAL TO BE OBTAINED FROM A PERMITTED SOURCE.

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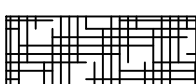
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STANDARD ASPHALT PAVING



HEAVY DUTY ASPHALT PAVING

GRAPHIC SCALE



( IN FEET )  
1 inch = 30 ft.

Revision date:  
15 MAY 2025

PAVING EDITS

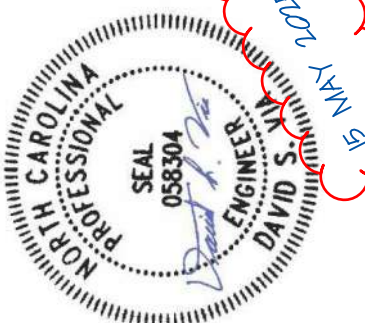
Description:

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Sheet Title:  
PHASE 2 GRADING PLAN

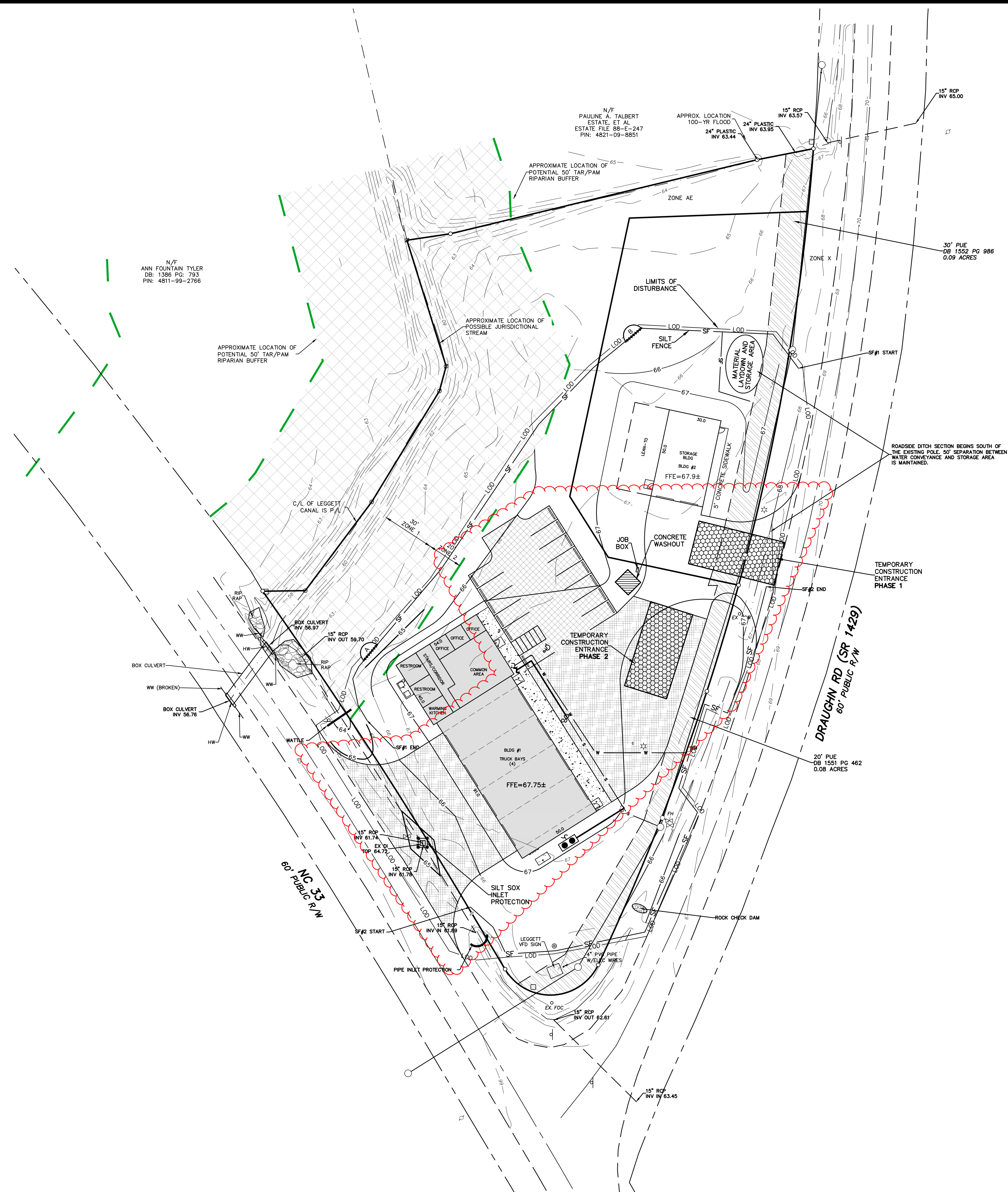
Project:  
LEGGETT VOLUNTEER  
FIRE DEPARTMENT

NO. 5 TOWNSHIP  
EDGECOMBE COUNTY  
Zone: B-2  
Pin Number: 4811-98-7817

Project Number: 24-200  
Date: MAY 2025  
Client Code: CONDAW  
Scale (Horz.): 1" = 30'  
Scale (Vert.): N/A  
Survey By:  
Field Book:  
Drawn By: LR  
Sheet:

SP7





CONSTRUCTION SEQUENCE:

1. EROSION AND SEDIMENT CONTROL (EASC) PERMIT AND CERTIFICATE OF COVERAGE (COC) MUST BE OBTAINED BEFORE ANY LAND DISTURBING ACTIVITIES OCCUR. NO WORK TO BE DONE ON SITE UNTIL THE SEDIMENTATION AND EROSION CONTROL PLAN HAS BEEN APPROVED AND PERMIT ACQUIRED. NOTIFY THE EROSION CONTROL SPECIALIST AT LEAST 48 HOURS PRIOR TO COMMENCING THE LAND DISTURBING ACTIVITY. MAINTAIN ON SITE A RAIN GAUGE, RECORDS, COPY OF THE PERMIT AND SEDIMENT & EROSION CONTROL PLANS.
2. STOCKPILES, LAYDOWN OR WASTE AREAS, CONCRETE WASHOUTS, PORTABLE TOILETS, AND FUELS MUST BE LOCATED AT LEAST 50 FEET AWAY FROM ANY OPEN WATER CONVEYANCES, SUCH AS BASINS, DITCHES, STORM DRAIN INLETS, ETC. THE LOCATION OF THESE ACTIVITIES MAY BE FIELD ADJUSTED IF THE DISTANCE REQUIREMENTS ARE MET.
3. PHASE CONSTRUCTION TO LIMIT TIME OF EXPOSURE AND PROVIDE GROUND COVER UNDER GUIDELINES OF THE EASC PERMIT.
4. CONTRACTOR TO CONTACT THE DEMLR RALEIGH REGIONAL OFFICE AT LEAST 48 HOURS PRIOR TO COMMENCING ANY LAND DISTURBING ACTIVITY AT PHONE NUMBER (919) 791-4200.
5. INSTALL PHASE 1 CONSTRUCTION ENTRANCE AND ALL SILT FENCE PRIOR TO ANY LAND DISTURBING ACTIVITIES (INCLUDING ANY TREE CLEARING OR DEMOLITION). CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES AS SPECIFIED ON THE APPROVED PLAN SHEET. INSTALL ALL OTHER EROSION CONTROL MEASURES AS REQUIRED BY NCDOT INCLUDING SEDIMENT BASINS AND DIVERSION DITCHES. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES.
6. INSTALL PHASE 1 UTILITIES.
7. BEGIN GRADING THE BUILDING PAD AND STABILIZE DISTURBED AREA. INSTALL PHASE 1 DRIVE.
8. INSTALL PHASE 2 CONSTRUCTION ENTRANCE. CONDUCT PHASE 2 DEMOLITION, REMOVE DITCH PIPE ALONG DRAUGHN RD AND GRADE DITCHES ACCORDING TO NCDOT STANDARDS. STABILIZE WITH STRAW WITH NET.
9. BEGIN PHASE 2 GRADING, INSTALL PHASE 2 UTILITIES AND INSTALL STORMWATER SYSTEM INLET PROTECTION.
10. SELF-INSPECTIONS FOR EROSION AND SEDIMENTATION CONTROL MEASURES ARE TO BE PERFORMED AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF EVERY RAIN EVENT OF GREATER THAN 1 INCH. ANY NEEDED REPAIRS SHALL BE MADE IMMEDIATELY TO MAINTAIN MEASURES AS DESIGNED. ALL EASC MEASURES SHALL BE MAINTAINED AS SPECIFIED IN THE CONSTRUCTION DETAILS ON THIS PLAN. A RAIN GAUGE SHALL BE INSTALLED AT THE PROJECT SITE FOR MONITORING.
11. PROVIDE TEMPORARY SEEDING AND STABILIZE ALL AREAS TO BE REVEGETATED.
12. ALL APPLICABLE EASC CONTROL MEASURES ARE TO REMAIN AND BE PROPERLY MAINTAINED UNTIL A VICARIOUS STAND OF PERMANENT VEGETATION IS ESTABLISHED AT THE END OF THE CONSTRUCTION OF THE PROJECT.
13. WHEN ALL UPLAND AREAS HAVE BEEN STABILIZED, REMOVE TEMPORARY MEASURES ONLY AFTER INSPECTION.
14. STREET IN FRONT OF THE PROJECT SITE SHALL BE KEPT CLEAN AT ALL TIMES OR A WASH STATION WILL BE REQUIRED.

MAINTENANCE:

1. EROSION AND SEDIMENT CONTROL DEVICES SHALL BE CHECKED AT LEAST ONCE EVERY WEEK AND AFTER EVERY RUN-OFF PRODUCING RAINFALL.
2. SEDIMENT SHALL BE REMOVED AND DEVICES REPAIRED AND/OR REPLACED AS NECESSARY.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN AND CHECK THE TEMPORARY EROSION CONTROL DEVICES DURING CONSTRUCTION.

SEEDBED PREPARATION:

CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3" DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE. RIP ENTIRE AREA 6" DEEP. REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM. APPLY AGRICULTURAL LIME AND FERTILIZER UNIFORMLY AND MIX WITH SOIL. CONTINUE TILLAGE UNTIL A WELL PULVERIZED, REASONABLY UNIFORM SEEDBED IS PREPARED 4" TO 6" DEEP. SPREAD SEED ON FRESHLY PREPARED SEEDBED AND COVER LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACKER AFTER SEEDING. MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH USING EMULSIFIED ASPHALT AT A RATE OF 435 GAL/ACRE.

**HYDROSEEDING**

SURFACE ROUGHENING IS PARTICULARLY IMPORTANT WHEN HYDROSEEDING, AS A ROUGHENED SLOPE WILL PROVIDE SOME NATURAL COVERAGE FOR LIME, FERTILIZER, AND SEED. THE SURFACE SHOULD NOT BE COMPACTED OR SMOOTH. FINE SEEDBED PREPARATION IS NOT NECESSARY FOR HYDROSEEDING OPERATIONS: LARGE CLOUDS, STONES, AND IRREGULARITIES PROVIDE CAVITIES IN WHICH SEEDS CAN LODGE. RATE OF WOOD FIBER (CELLULOSE) APPLICATION SHOULD BE AT LEAST 2,000 LB/ACRE. APPLY LEGUME INOCULANTS AT FOUR TIMES THE RECOMMENDED RATE WHEN ADDING INOCULANT TO A HYDROSEEDER SLURRY. IF A MACHINERY BREAKDOWN OF ½ TO 2 HOURS OCCURS, ADD 50% MORE SEED TO THE TASK, BASED ON THE PROPORTION OF THE SLURRY REMAINING. THIS SHOULD COMPENSATE FOR DAMAGE TO SEED. BEYOND 2 HOURS, FULL RATE OF NEW SEED MAY BE NECESSARY. LIME IS NOT NORMALLY APPLIED WITH A HYDRAULIC SEEDER BECAUSE IT IS ABRASIVE. IT CAN BE BLOWN ONTO STEEP SLOPES IN DRY FORM.

**CRIMPING STRAW MULCH**

APPLY AND CRIMP HALF OF THE REQUIRED AMOUNT OF STRAWS IN TWO DIRECTIONS BEFORE APPLYING AND CRIMPING THE REMAINING STRAWS FOR BETTER ANCHORING INTO THE SOIL. STRAW MULCH SHALL BE OF SUFFICIENT LENGTH AND QUALITY TO WITHSTAND THE CRIMPING OPERATION. CRIMPING EQUIPMENT INCLUDING POWER SOURCE SHALL BE SUBJECT TO THE APPROVAL OF THE ENGINEER PROVIDING THAT MAXIMUM SPACING OF CRIMPING BLADES SHALL NOT EXCEED 8".

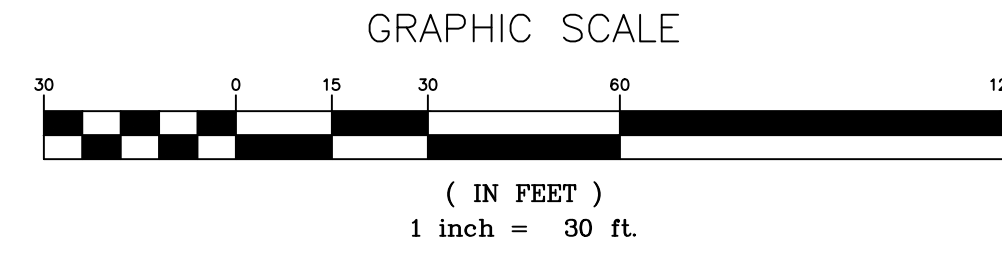
SILT FENCE CALCULATIONS

LOCATION	DRAINAGE AREA	SILT FENCE (LINEAR FT)	SLOPE	MAX. AREA W/O OUTLET	SILT FENCE OUTLET
SF#1 - ALONG SITE BACKSIDE	0.57 AC.	380	4.00%	0.65 AC.	NO
SF#2 - ALONG INTERSECTION SIDE	0.46 AC.	330	2.50%	0.57 AC.	NO

Note: Silt fence outlets if required to be installed at the lowest point along the silt fence.

Maximum allowable drainage area for silt fence outlet < 1.0 acre.

Additional silt fence outlets at engineer's discretion.



Revision date: 15 MAY 2025  
Description: PAVING EDITS

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NORTH CAROLINA  
PROFESSIONAL SEAL  
ENGINEER  
DAVID S. BARTLETT  
15 MAY 2025

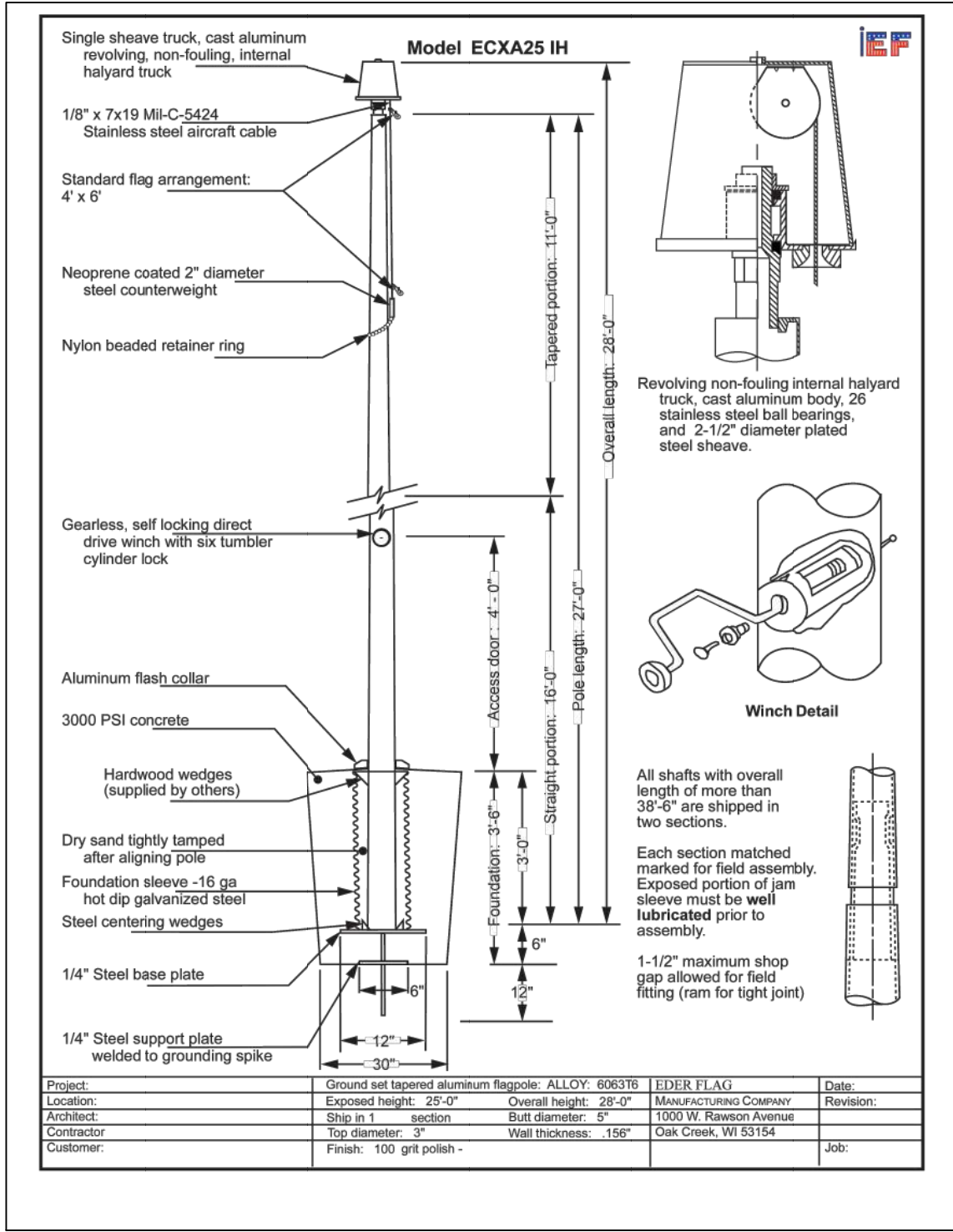
Project: NO. 5 TOWNSHIP  
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Scale (Horz.): 1" = 30'  
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Survey By:  
Field Book:  
Drawn By: LR  
Sheet: SP8

Sheet Title: PHASE 1 & PHASE 2 EROSION CONTROL PLAN

Plot Date: 5/19/25





NOTE: SEE GENERAC INSTALLATION LAYOUT AND INSTALLATION GUIDELINES FOR ADDITIONAL DETAILS.

#### Generator Foundation

Install the generator on a concrete pad or base slab able to support its weight and accessories. A correct foundation is needed to resist dynamic loading and reduce transmitted noise and vibration. The exact composition of the mounting pad must follow standard engineering practices for the required loading and application. **Securely fasten generator to the foundation using suitable grade, size, and style fasteners.** Holes are provided in the base frame for this purpose.

#### Genpad LC

Protector series generators can be installed on the pre-fabricated Genpad LC mounting pads designed for the particular generator product. The Genpad LC is a third-party product available exclusively for Protector series generators through Generac.

#### Concrete Pad

Follow all federal, state, and local codes when designing a concrete pad or base slab. Seat concrete pad on a prepared solid subsurface and use appropriate reinforcing bar or expanded wire mesh. A common specification calls for 2,500 psi (17.24 MPa) concrete reinforced with 8 gauge wire mesh.

#### Dimensions

Extend concrete pad beyond the frame of the unit at least 3 in (7.62 cm). A concrete pad extending 6 in (15.2 cm) beyond the frame of the unit is suggested to provide a mounting surface for fuel line support, and space for maintenance and repair.

The base pad must be:

- Capable of supporting 125% of the unit wet weight for single unit applications.
- Flat and level to within 0.5 in (13 mm).
- Capable of withstanding severe torque reactions.

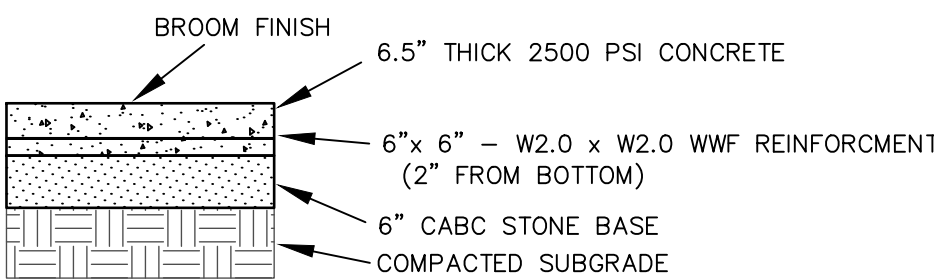
To calculate the depth of the concrete pad, the following formula may be used:

$$\text{Depth of Base} = \frac{W}{\text{Density} \times B \times L}$$

**W** = Total wet weight of generator set in pounds (kg)  
**Density** = Density of the concrete:  
• 150 pounds per ft<sup>3</sup>  
• 2,400 kilograms per m<sup>3</sup>  
**B** = Foundation width in ft (m)  
**L** = Foundation length in ft (m)

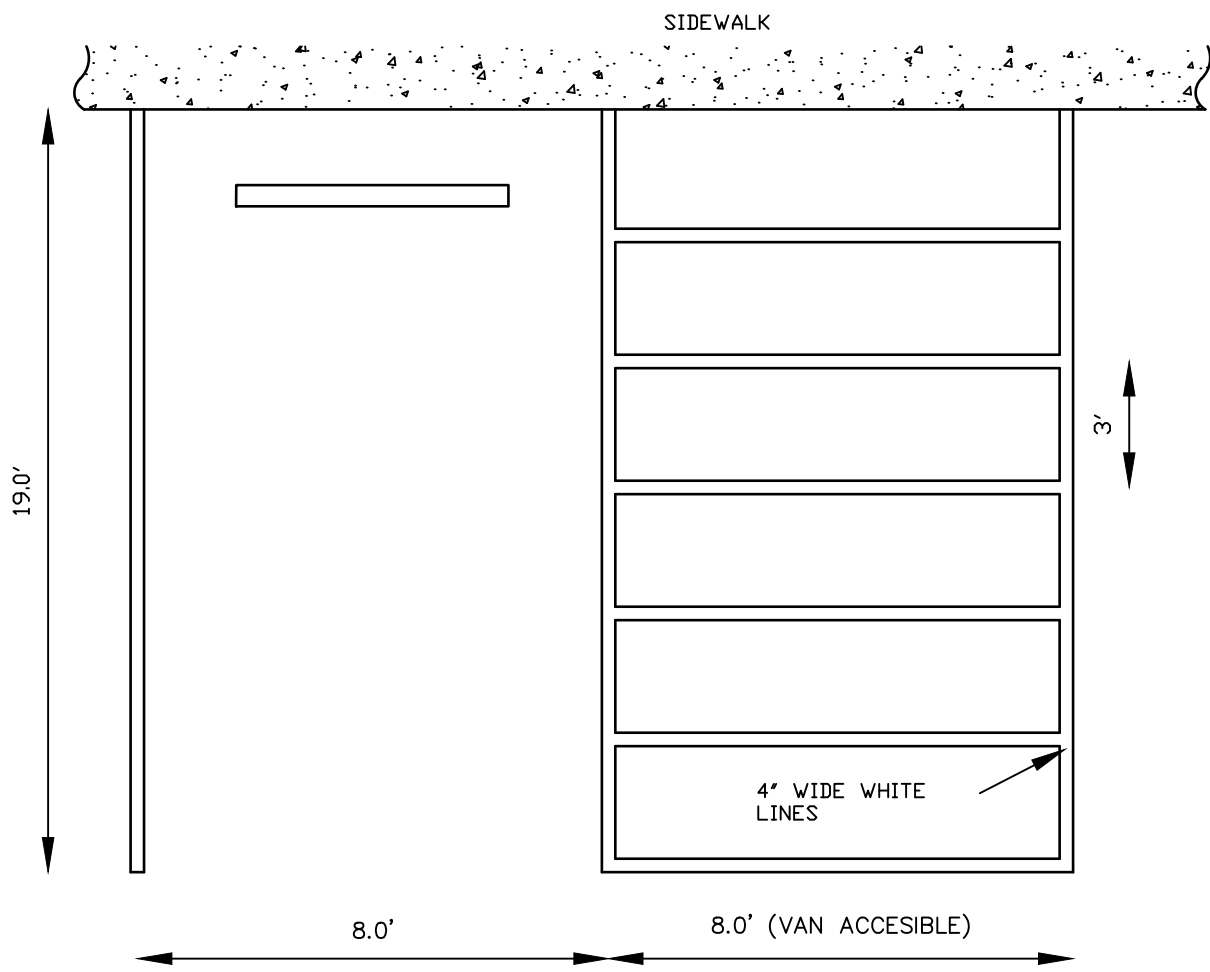
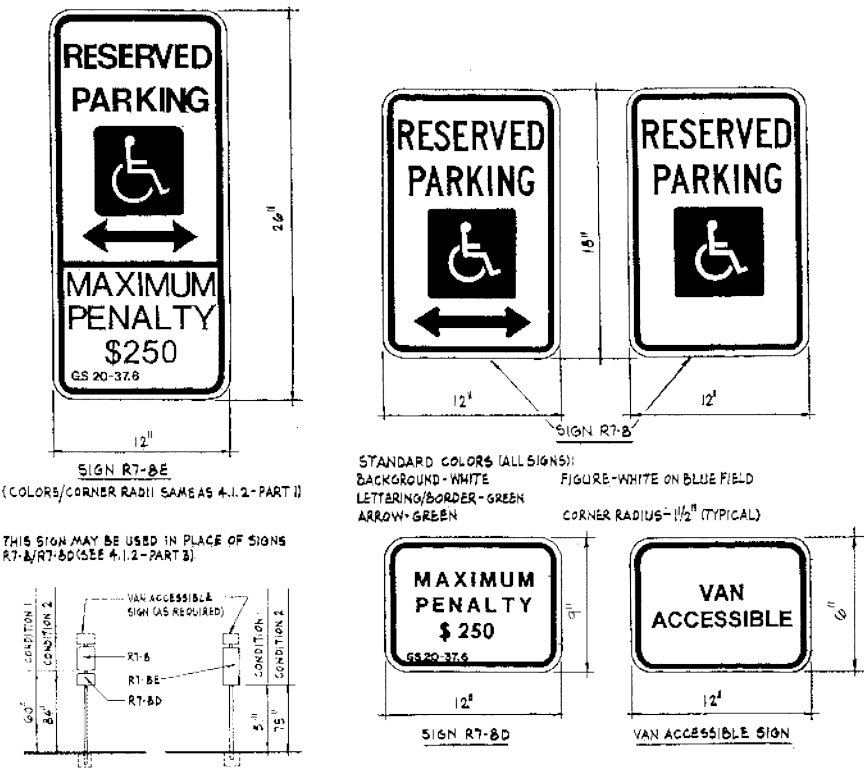
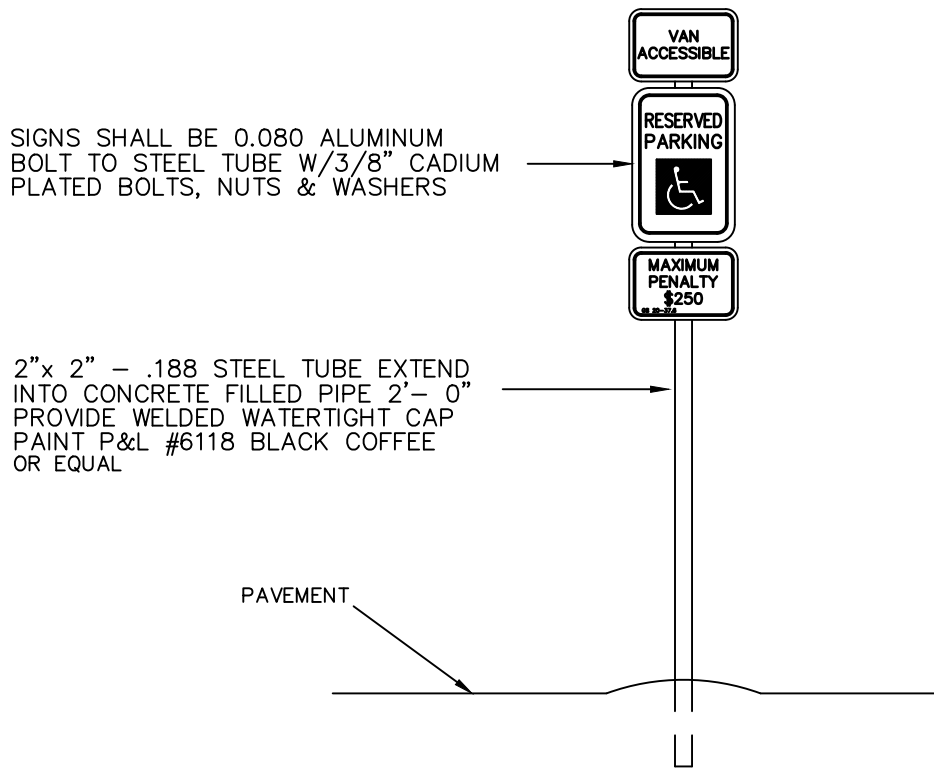
Suggested mixture of concrete (by volume) is 1:2:3 of cement, sand, and aggregate with a maximum 4 in (100 mm) slump with a 28 day compression strength of 3,000 psi (20.7 MPa).

NOTE: SPECIFICATIONS COPIED FROM GENERAC INSTALLATION GUIDELINES

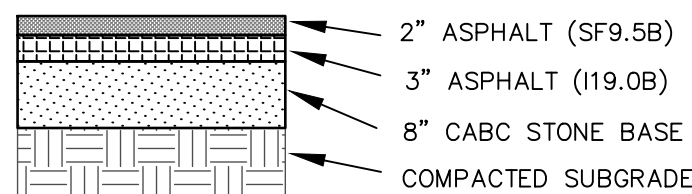


GENERATOR CONCRETE PAD DETAIL  
NO SCALE

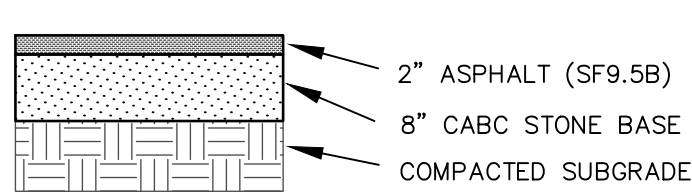
GENERATOR PAD CALCS	
GENERATOR WEIGHT (LBS):	1900
CONCRETE DENSITY (FT <sup>3</sup> ):	150
FOUNDATION WIDTH (FT):	3.92
FOUNDATION LENGTH (FT):	7.95
MIN. DEPTH OF BASE (IN):	6.1
DESIGN BASE DEPTH (IN):	6.5



HANDICAP SPACE DETAIL  
NO SCALE



HEAVY-DUTY PAVING DETAIL  
NO SCALE



STANDARD ASPHALT PAVING DETAIL  
NO SCALE

#### INSTALLATION SPECIFICATIONS

- TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM OF 50 FT. FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATER COURSES. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING.
- A SIGN SHOULD BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
- TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED ABOVE GRADE OR BELOW GRADE AT THE OPTION OF THE CONTRACTOR. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
- TEMPORARY WASHOUT FACILITIES SHOULD HAVE A TEMPORARY PIT OR BERMED AREAS OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS GENERATED DURING WASHOUT PROCEDURES.
- WASHOUT OF CONCRETE TRUCKS SHOULD BE PERFORMED IN DESIGNATED AREAS ONLY.
- ONLY CONCRETE FROM MIXER TRUCK CHUTES SHOULD BE WASHED INTO CONCRETE WASHOUT.
- CONCRETE WASHOUT FROM CONCRETE PUMPER BINS CAN BE WASHED INTO CONCRETE WASHOUT OR DISCHARGED INTO DESIGNATED WASHOUT AREA OR PROPERLY DISPOSED OF SITE.
- ONCE CONCRETE WASTES ARE WASHED INTO THE DESIGNATED AREA AND ALLOWED TO HARDEN, THE CONCRETE SHOULD BE BROKEN UP, REMOVED, AND DISPOSED OF OFFSITE IN A LEGAL MANNER. DISPOSE OF HARDEN CONCRETE ON A REGULAR BASIS.
- TEMPORARY CONCRETE WASHOUT FACILITY (TYPE ABOVE GRADE)

- TEMPORARY WASHOUT FACILITY (TYPE ABOVE GRADE) SHOULD BE CONSTRUCTED AS SHOWN IN THE DETAILS ON THIS SHEET, WITH A RECOMMENDED MINIMUM LENGTH AND MINIMUM WIDTH OF 10 FT., BUT WITH SUFFICIENT QUANTITY AND VOLUME TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
  - STRAW BALES, WOOD STAKES, AND SAND BAG MATERIALS SHOULD CONFORM TO THE PROVISIONS IN THE EROSION AND SEDIMENT CONTROL PLAN.
  - PLASTIC LINING MATERIAL SHOULD BE A MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND SHOULD BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.
- TEMPORARY CONCRETE WASHOUT FACILITY (TYPE BELOW GRADE)
    - TEMPORARY WASHOUT FACILITY (TYPE BELOW GRADE) SHOULD BE CONSTRUCTED AS SHOWN IN THE DETAILS ON THIS SHEET, WITH A RECOMMENDED MINIMUM LENGTH AND MINIMUM WIDTH OF 10 FT., BUT WITH SUFFICIENT QUANTITY AND VOLUME TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
    - LATH AND FLAGGING SHOULD BE COMMERCIAL TYPE.
    - PLASTIC LINING MATERIAL SHOULD BE A MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND SHOULD BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.

CONCRETE WASHOUT  
NO SCALE

#### REMOVAL OF TEMPORARY CONCRETE WASHOUT FACILITIES

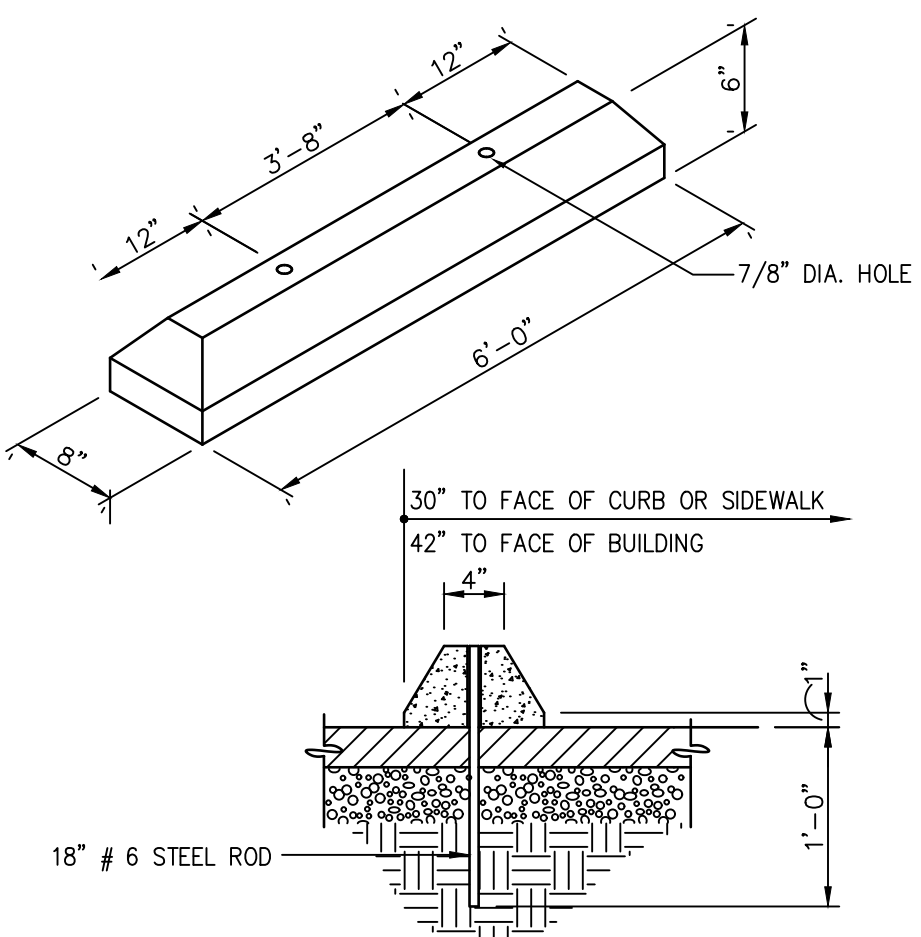
- WHEN TEMPORARY CONCRETE WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, THE HARDENED CONCRETE SHOULD BE REMOVED AND DISPOSED OF MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF.
- HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITY SHOULD BE BACKFILLED AND REPAIRED.

#### INSPECTION AND MAINTENANCE

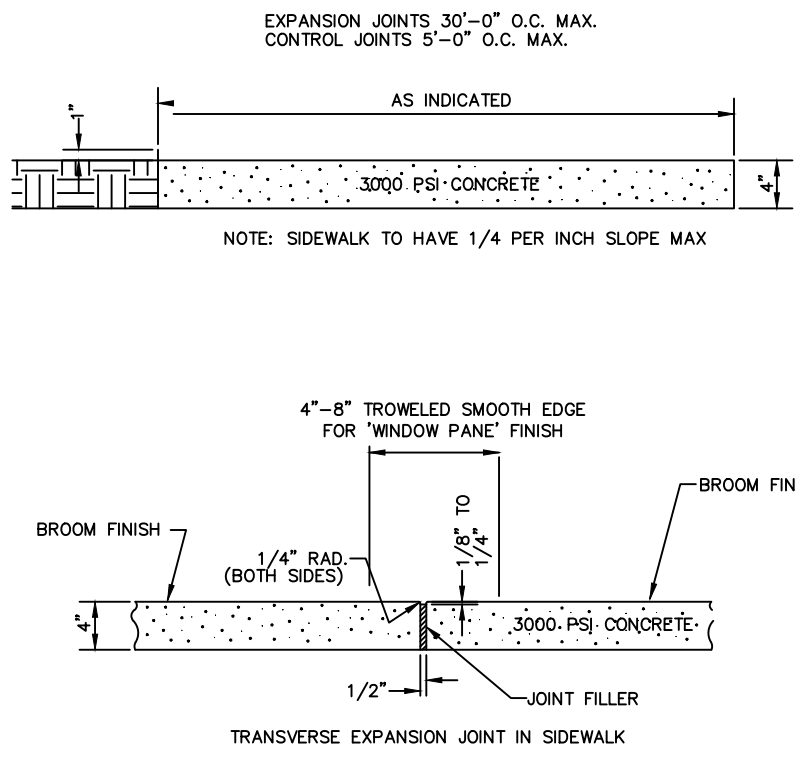
INSPECT AND VERIFY THAT ACTIVITY-BASED BMPs ARE IN PLACE PRIOR TO THE COMMENCEMENT OF ASSOCIATED ACTIVITIES. WHEN ACTIVITIES ASSOCIATED WITH THE BMP ARE UNDER WAY, INSPECT WEEKLY DURING THE RAINY SEASON AND AT TWO WEEK INTERVALS IN THE NON-RAIN SEASON TO VERIFY CONTINUED BMP IMPLEMENTATION.

TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE MAINTAINED TO PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM FREEBOARD OF 4 IN. FOR ABOVE GRADE FACILITIES AND 12 IN. FOR BELOW GRADE FACILITIES. MAINTAINING TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD INCLUDE REMOVING AND DISPOSING OF HARDENED CONCRETE AND RETURNING THE FACILITIES TO A FUNCTIONAL CONDITION. HARDENED CONCRETE MATERIALS SHOULD BE REMOVED AND DISPOSED OF.

WASHOUT FACILITIES MUST BE CLEANED, OR NEW FACILITIES MUST BE CONSTRUCTED AND READY FOR USE ONCE THE WASHOUT IS 75% FULL.



WHEEL STOPS  
NO SCALE



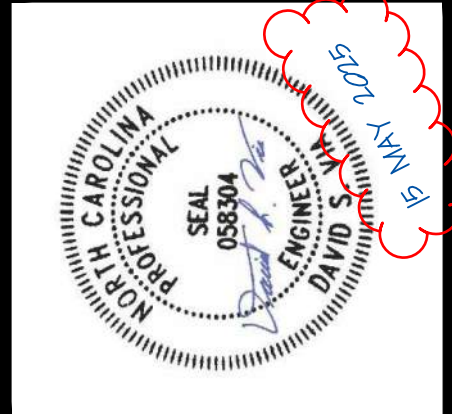
SIDEWALK DETAIL  
NO SCALE

Revision date:	15 MAY 2025	Description:	PAVING EDITS

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Project: **LEGGETT VOLUNTEER FIRE DEPARTMENT**

NO. 5 TOWNSHIP  
EDGEcombe COUNTY  
Zone: B-2  
Pin Number: 4811-98-7817

Project Number: 24-200  
Date: MAY 2025  
Client Code: CONDAW  
Scale (Horz.): N/A  
Scale (Vert.): N/A  
Survey By:  
Field Book:  
Drawn By: LR  
Sheet: **DT1**



## FINISH SPECIFICATIONS

(GENERAL CONTRACTOR TO SUBMIT COLOR SAMPLES FOR APPROVAL)

## EXTERIOR

ROOF PANELS (REAR MAIN ROOF)	24 GAUGE, STANDING SEAM COLOR: GALVALUME
GUTTER, DOWNSPOUTS AND TRIM	24 GAUGE GUTTER & DOWNSPOUTS AS SUPPLIED BY BUILDING MANUFACTURER COLOR: KYNAR 500 - SELECTED BY OWNER
STOREFRONT	"KAWNEER" 451TCG OR EQUAL COLOR: SELECTED BY OWNER
HOLLOW METAL DOORS AND FRAMES	PAINT "PITTSBURGH PAINTS" SEMI-GLOSS COLOR: SELECTED BY OWNER
ALUMINUM CANOPY	BALLEW'S ALUMINUM PRODUCTS INC. OR EQUAL PRE-FINISHED PAINT COLOR: SELECTED BY OWNER
OVERHEAD DOOR	RAYNOR, ALUMAVIEW AV200 INSULATED OVERHEAD DOOR OR EQUAL COLOR: SELECTED BY OWNER

## INTERIOR

FLOORS	LUXURY VINYL PLANK: SOUTHWIND AUTHENTIC PLANK LVP OR EQUAL COLOR: SELECTED BY OWNER  CONCRETE SEALANT: BETCO "SURE CURE" FLOOR SEALER AND FINISH OR EQUAL COLOR: SELECTED BY OWNER
BASE	JOHNSONITE 4" HIGH RUBBER COVE BASE OR EQUAL COLOR: SELECTED BY OWNER
WALLS	PAINT "PITTSBURGH PAINTS" SEMI-PERMEABLE FINISH OR EQUAL COLOR: SELECTED BY OWNER
CEILING	ARMSTRONG, 2' x 2' SQUARE ACOUSTICAL LAY-IN TILE & GRID OR EQUAL COLOR: SELECTED BY OWNER

## ACCESSORIES:

INTERIOR WOOD DOORS	"MOHAWK", SOLID CORE BIRCH, PREMIUM 2000 FACTORY FINISH OR EQUAL COLOR: SELECTED BY OWNER
CABINETS	MELAMINE EXTERIOR AND INTERIOR SURFACES COLOR: SELECTED BY OWNER
PLASTIC LAMINATE TOPS	WILSONART, "SERIES 60" FINISH OR EQUAL COLOR: SELECTED BY OWNER

## TOILET ACCESSORIES:

PAPER HOLDER	AMERICAN SPECIALTIES #0263-1 OR EQUAL
TOWEL DISPENSER	AMERICAN SPECIALTIES #0210 OR EQUAL

SOAP DISPENSER	AMERICAN SPECIALTIES #0345 OR EQUAL
GRAB BARS	AMERICAN SPECIALTIES #3801P, 18", 36", 42"
MIRROR	WALL HUNG 24"W x 36"H, ALUMINUM EDGE TRIM
RESTROOM SIGNAGE	UNISEX WHEELCHAIR ACCESSIBLE BATHROOM SIGN-ADA COMPLIANT TACTILE BRAILLE SIGN 6" X 8" COLOR: WHITE ON BLACK BACKGROUND

## DOOR HARDWARE SCHEDULE

ALL HARDWARE TO HAVE "BRUSHED NICKLE" FINISH

LOCKSET	"YALE" 4600LN, GRADE 2 LOCKSET OR EQUAL
CLOSERS	GRADE 1 w/ FULL COVER, 2500 OR EQUAL
EXTERIOR AND INTERIOR DOOR HINGES	BALL BEARING HINGES WITH 32D FINISH OR EQUAL
DOOR STOPS	"MCKINNEY" WROUGHT ALL STOPS No. WSO2 WITH STAINLESS STEEL FINISH OR EQUAL
KICK-DOWN DOOR STOP	"ROCKWOOD", #460

## APPLIANCES:

REFRIGERATOR	GE MODEL: "GTS22KYNRFS" 21.9 Cu. Ft. TOP-FREEZER REFRIGERATOR, 66 3/8" x 32 3/4" x 34 1/2" COLOR: STAINLESS STEEL
OVEN/RANGE	GE MODEL: "GRF600AVSS" 30" FREE-STANDING ELECTRIC CONVECTION RANGE, 47 1/4" x 30" W x 27 7/8" D COLOR: STAINLESS STEEL
DISHWASHER	GE PROFILE MODEL: "PDT715SYVFS" ENERGY STAR, 34" H x 23 3/4" W x 24" D COLOR: STAINLESS STEEL
MICROWAVE RANGE HOOD COMBO	GE, MODEL: "JVM3160DFWW" 30" WIDE, 1000 WATT, 1.6 CUBIC FOOT OR EQUAL COLOR: STAINLESS STEEL
WASHER	ELECTRIC FRONT TOP LOAD, GE OR EQUAL
DRYER	ELECTRIC FRONT LOAD, GE OR EQUAL

## NOTES:

- EACH DOOR TO HAVE DOOR STOPS
- MANUFACTURER SHALL SUPPLY MASTER KEY(S) TO FIT ALL DOORS VERIFY KEYING SCHEMES W/ OWNER
- G.C. TO FURNISH AND INSTALL ALL ADA RESTROOM SIGNAGE, ALL OTHER INTERIOR SIGNAGE TO BE FURNISHED BY THE OWNER AND INSTALLED BY THE GENERAL CONTRACTOR AS PER ADA REQUIREMENTS

## ABBREVIATIONS

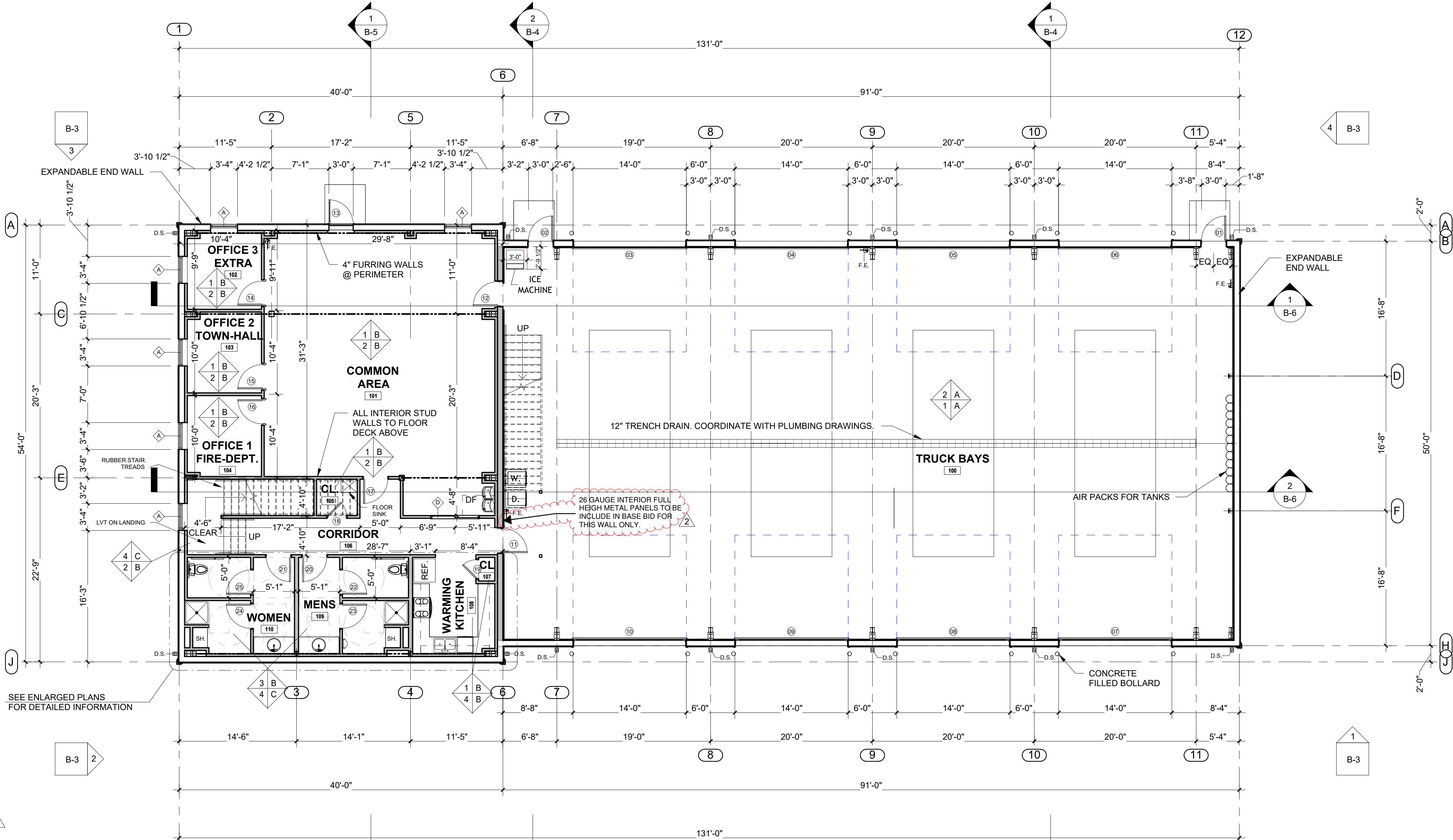
- T - TEMPERED GLASS
- TN - TINTED
- WG - WIRE GLASS
- SWG - SAFETY WIRE GLASS
- SG - SPANDREL GLASS

## WALL LEGEND

SYMBOL	
	PROPOSED 362S162-43 STUDS @ 16" O.C. W/ 362T125-43 T&B TRACKS
	PROPOSED 600S162-43 STUDS @ 16" O.C. W/ 600T125-43 T&B TRACKS
	8" WALL GIRTS W/ METAL PANEL
NOTES: 1. R-11 SOUND BATT INSULATION IN PROPOSED INTERIOR STUD WALLS. 2. R-19 @ EXTERIOR WALLS 3. R-25 LINER SYSTEM @ OFFICE AREA WALLS 4. R-38 LINER SYSTEM OVER OFFICE ROOF AREA 5. R-38 LINER SYSTEM OVER TRUCK BAY ROOF AREA 6. R-19 LINER SYSTEM @ TRUCK BAY WALLS	

## ROOM FINISH SCHEDULE

ROOM FINISH SPECIFICATIONS					FLOOR ——— BASE WALLS ——— CEILING		
	FLOOR		BASE		WALLS		CEILING
1	POLISHED CONCRETE	A	NONE	1	BASE: EXPOSED STRUCTURE OVER LINER PANEL TO 7'-6" A.F.F. ALTERNATE: FULL HEIGHT LINER PANEL	A	EXPOSED STRUCTURE w/ R38 LINER
2	SEALED CONCRETE	B	4" HIGH RUBBER COVE BASE	2		B	2'x2' ACOUSTIC LAY IN CEILING TILE. 8'-0" CEILING HEIGHT
3	LUXURY VINYL TILE	C	4" HIGH RUBBER COVE BASE @ LANDINGS	3	EXPOSED STRUCTURE	C	MOISTURE RESISTANT 2'x2' ACOUSTIC LAY IN CEILING TILE
4	RUBBER TREADS			4	5/8" TYPE "X" IMPACT, MOISTURE, MOLD RESISTANT DRYWALL PAINTED 3 COATS (1 COAT PRIMER & 2 COATS FINISH) W/LATEX PAINT, EGGSHELL SHEEN, COLOR BY OWNER		
NOTES: 1. ALL FINISH TO BE AS SPECIFIED, UNLESS OTHERWISE NOTED. 2. ALL COLORS OF FINISHES TO BE SELECTED BY OWNER.							



## FLOOR PLAN

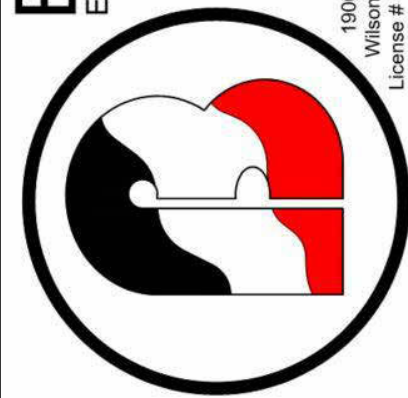
SCALE: 1/8" = 1'-0"

Owner:

David Coker

**Legget Volunteer Fire Dept.**  
29 Draughn Road  
Tarboro, NC 27886

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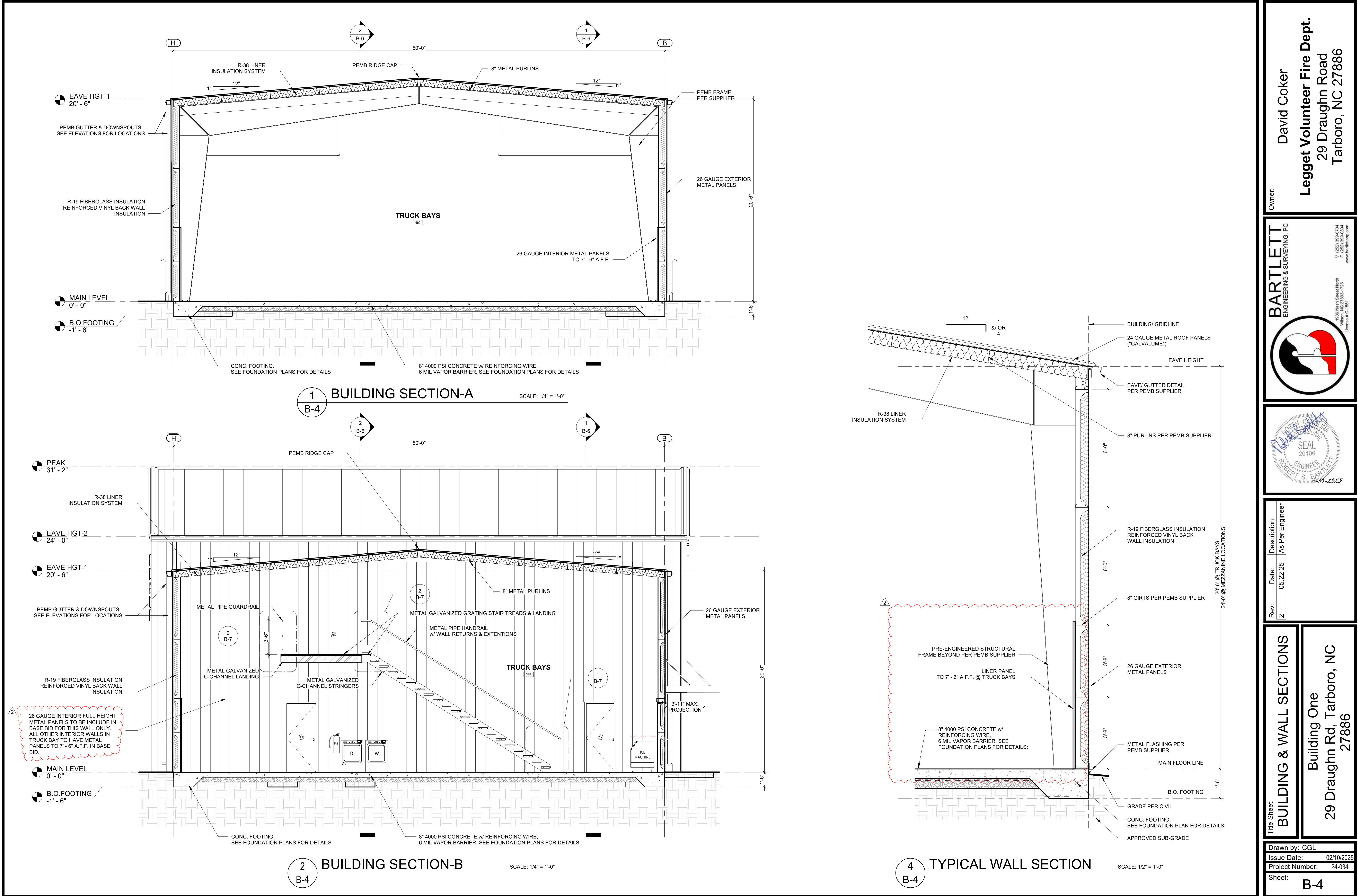
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Date: 05.22.25  
Description: As Per Engineer

Title Sheet:  
**FLOOR PLAN**

**Building One**  
29 Draughn Rd, Tarboro, NC  
27886

Drawn by: CGL  
Issue Date: 02/10/2025  
Project Number: 24-034  
Sheet: **B-1**





Owner:

David Coker

Legget Volunteer Fire Dept.

29 Draughn Road

Tarboro, NC 27886

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Rev:

Date:

Description:

2

05.22.25

As Per Engineer

Title Sheet:

BUILDING & WALL SECTIONS

Building One

29 Draughn Rd, Tarboro, NC

27886

Drawn by:

Issue Date:

Project Number:

Sheet:

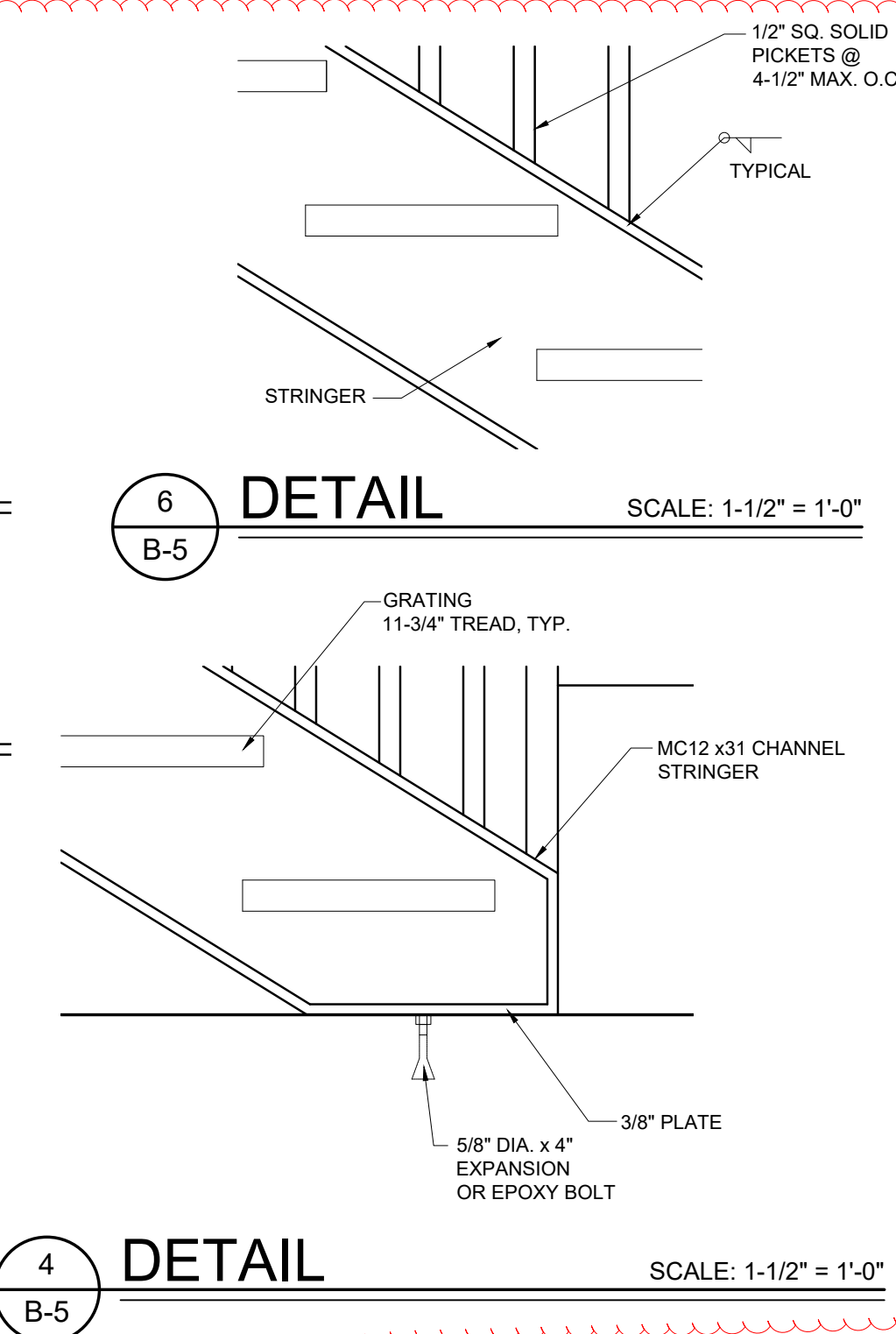
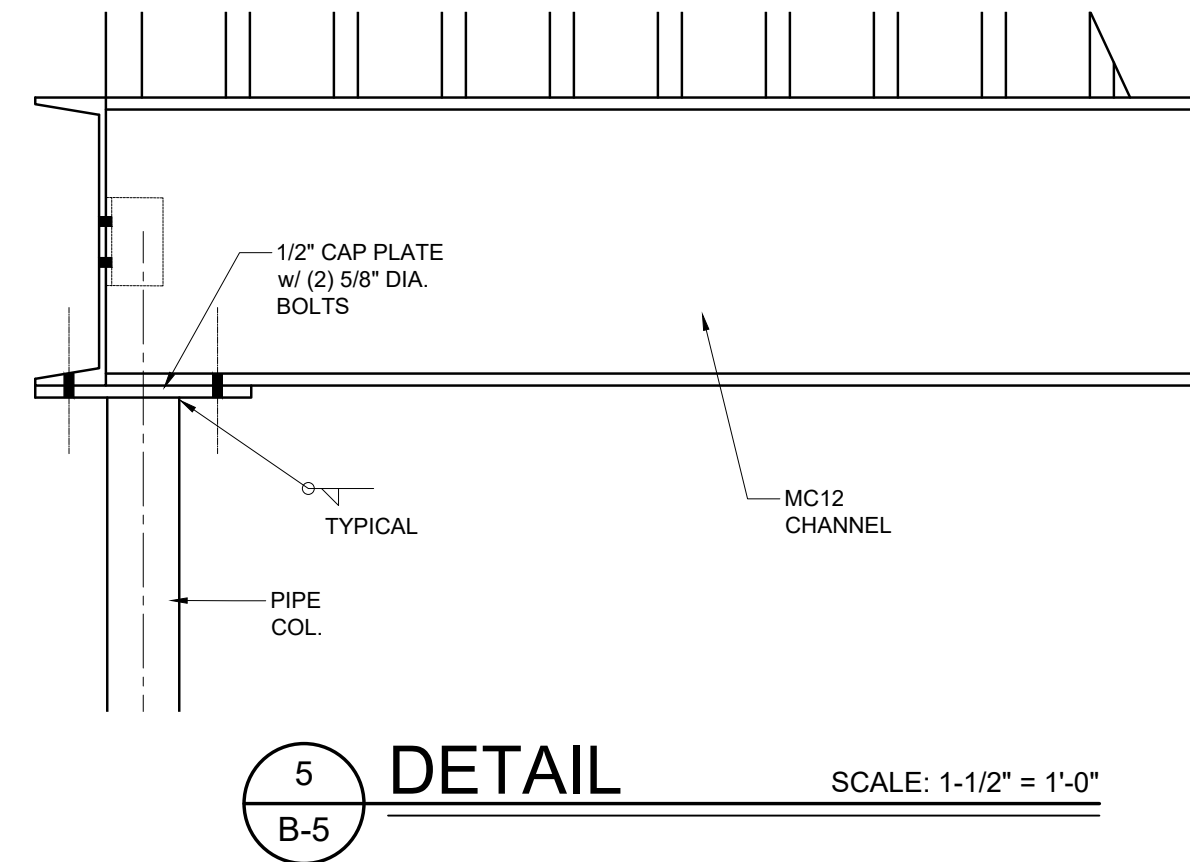
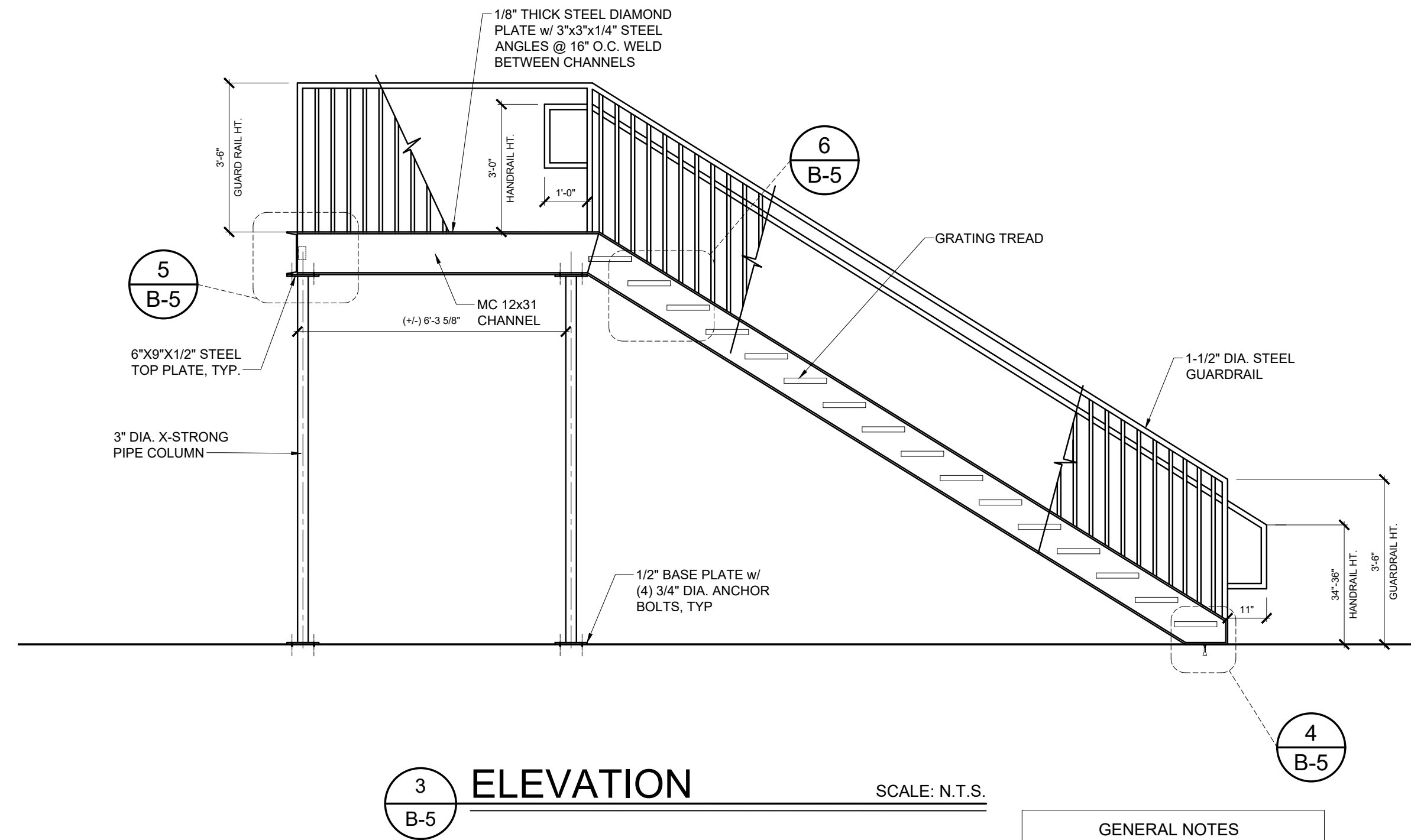
CGL

02/10/2025

24-034

B-4

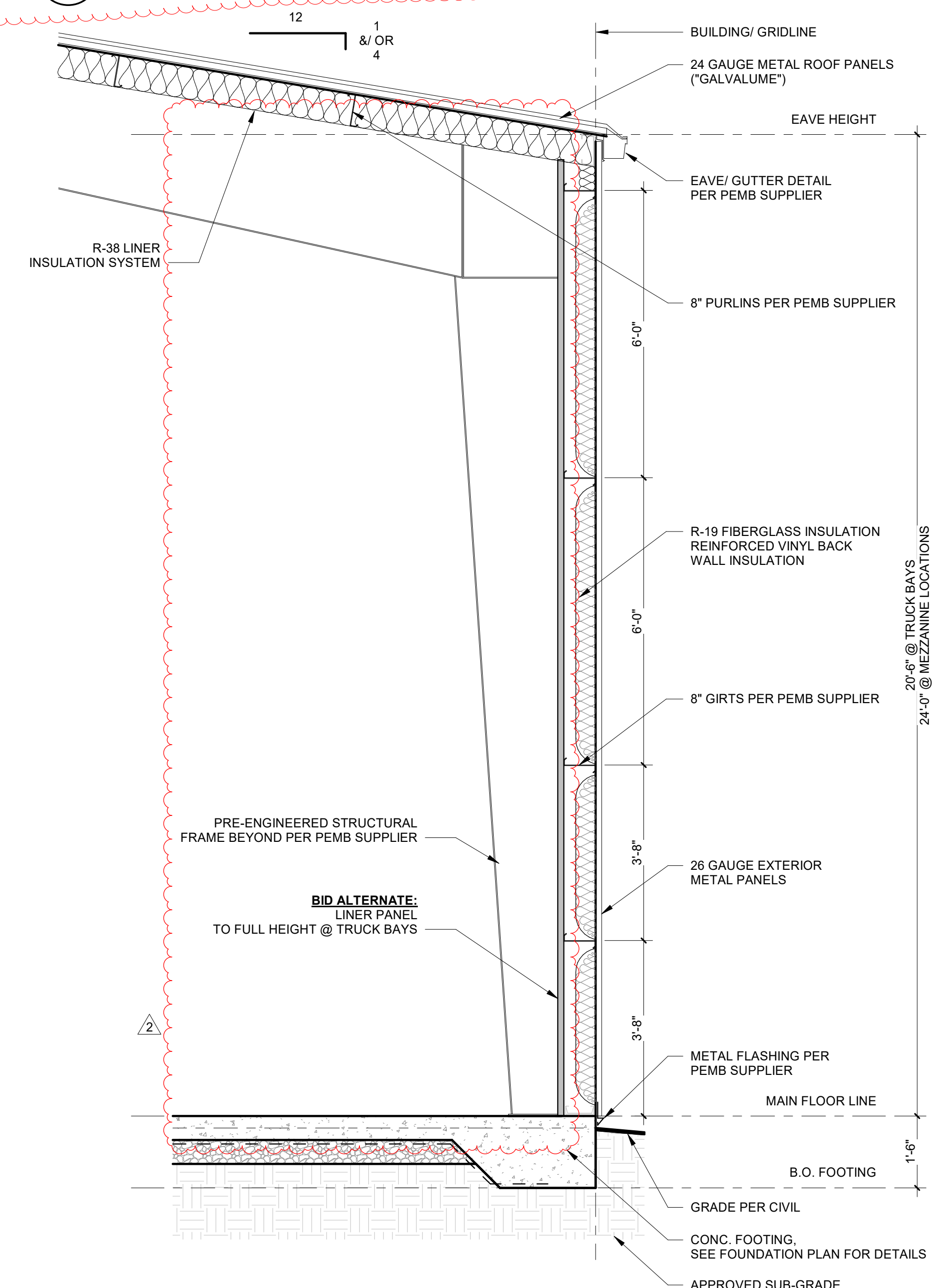
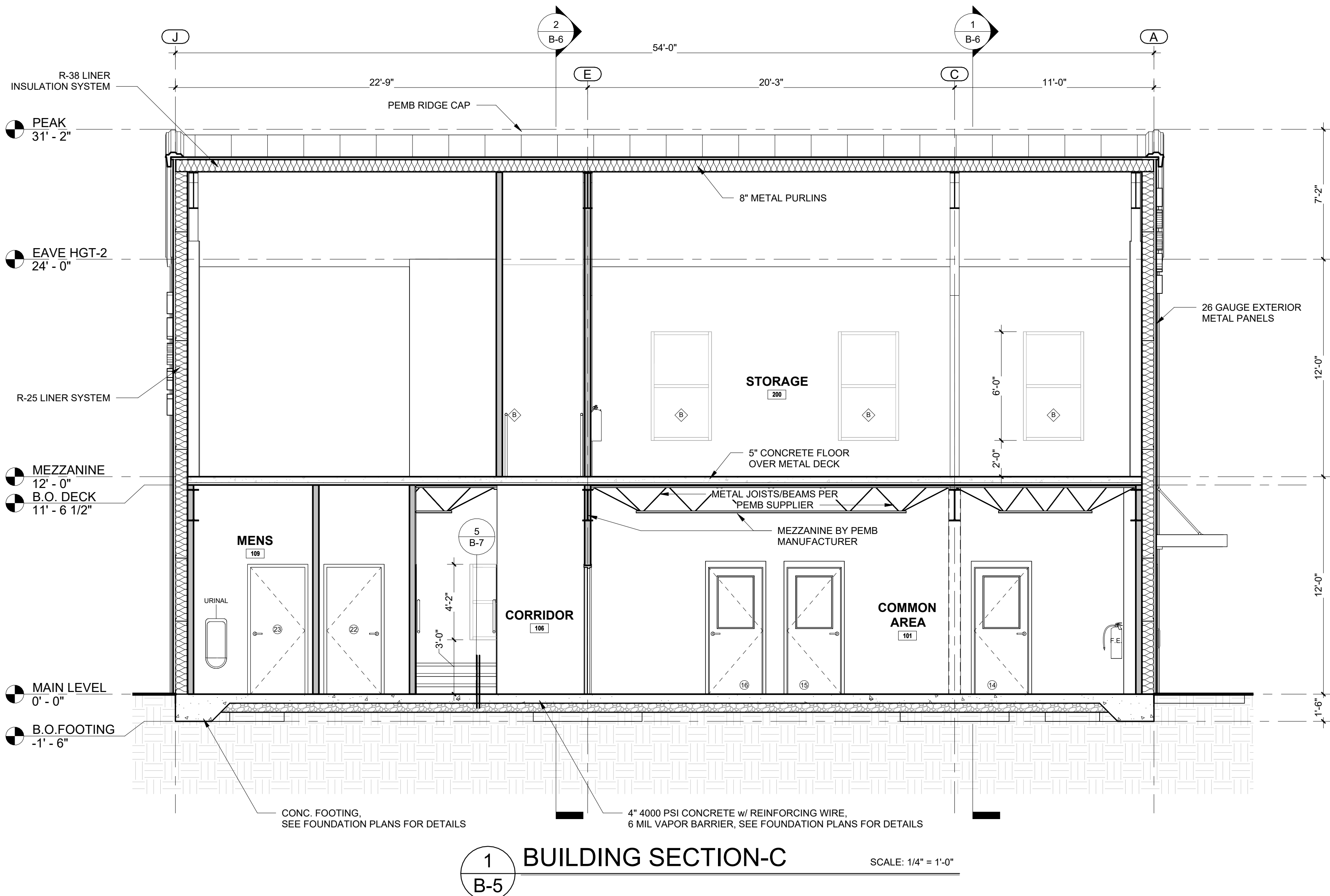




GENERAL NOTES

ALL WALL GIRTS AND EALL PANELS TO BE DESIGNED FOR L/240 DEFLECTION

ALL STAIR DETAILS ON THIS SHEET ARE FOR THE INTERIOR STAIRCASE LOCATED IN TRUCK BAY



David Coker

Legget Volunteer Fire Dept.

29 Draughn Road

Tarboro, NC 27886

Owner:

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ROBERT S. BARTLETT

5-20-2025

Rev.	Date:	Description:
2	05.22.25	As Per Engineer

Building One

29 Draughn Rd, Tarboro, NC

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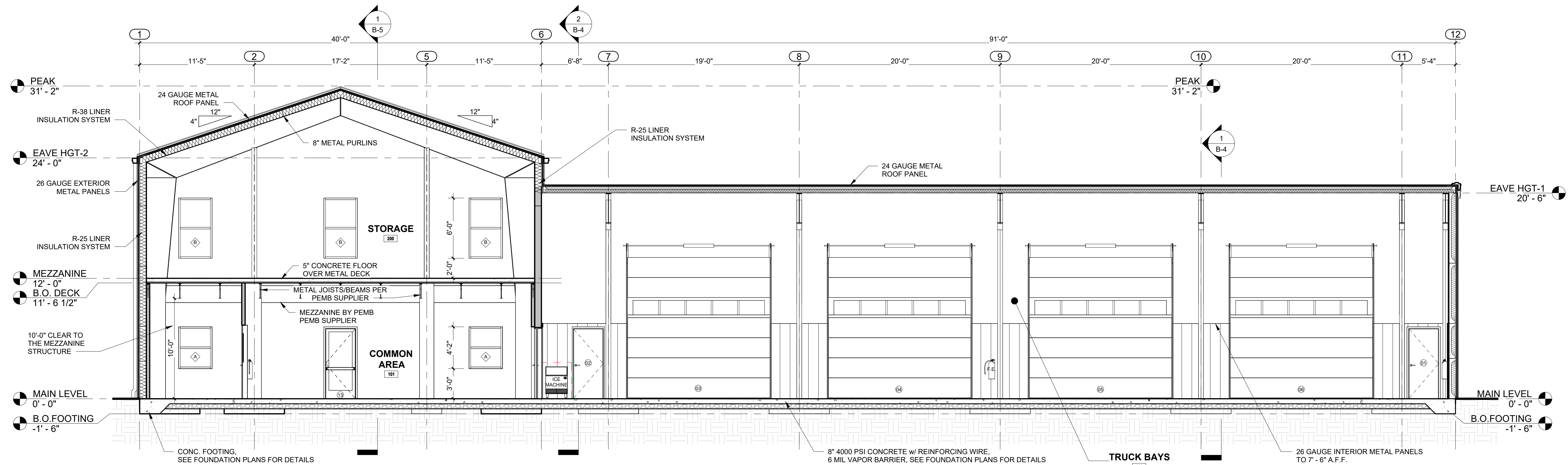
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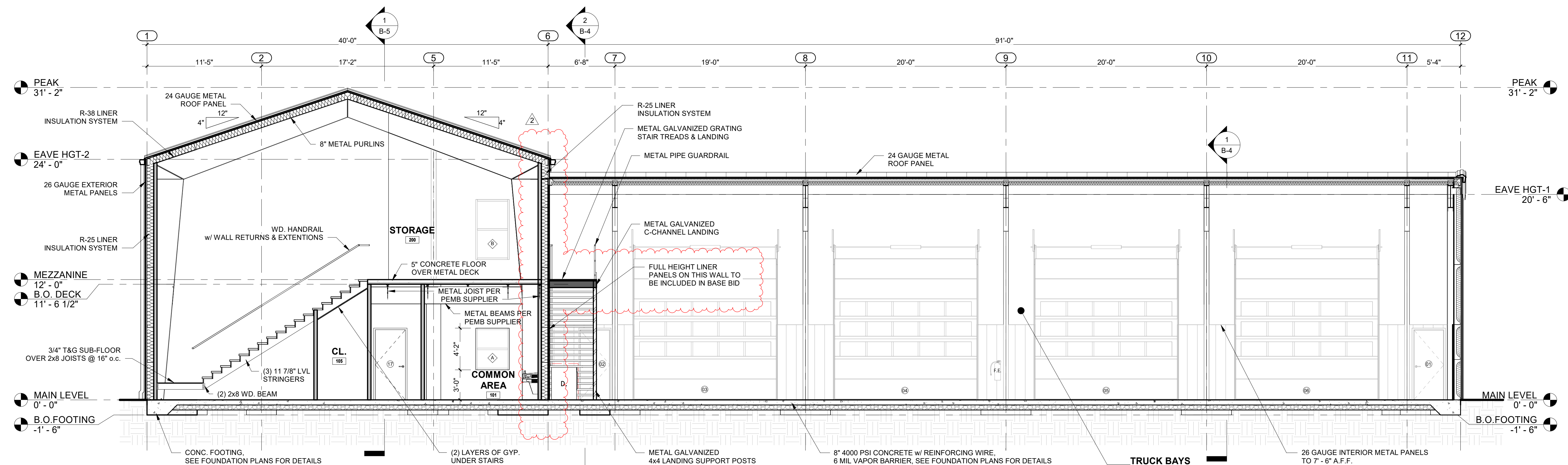
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Sheet: B-5





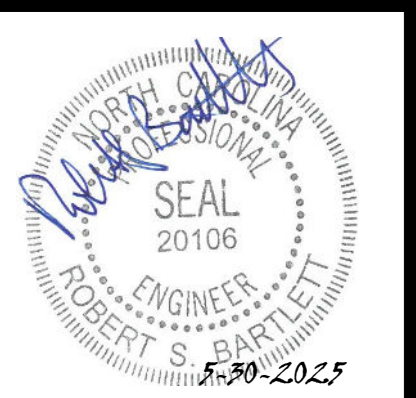
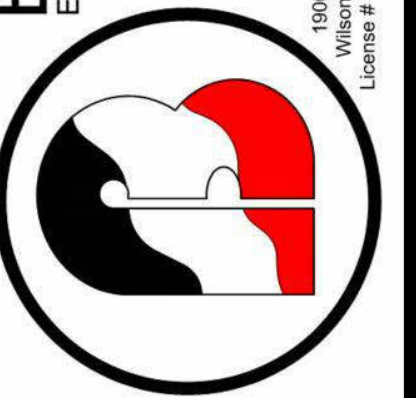
1 BUILDING SECTION-D  
B-6 SCALE: 3/16" = 1'-0"



2 BUILDING SECTION-E  
B-6 SCALE: 3/16" = 1'-0"

Owner:  
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Tarboro, NC 27886

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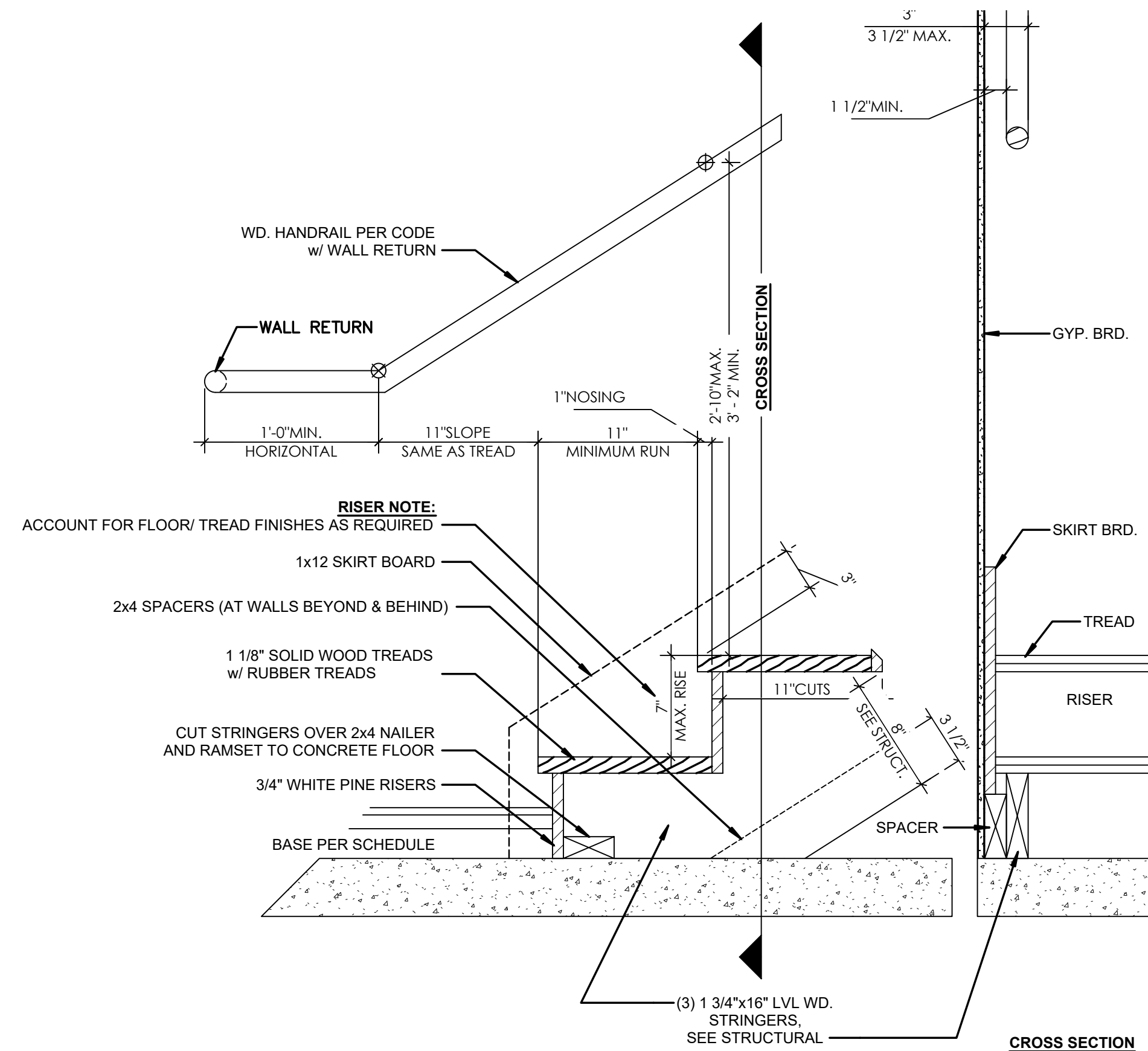
Rev: 2  
Date: 05.22.25  
Description: As Per Engineer

CROSS SECTIONS

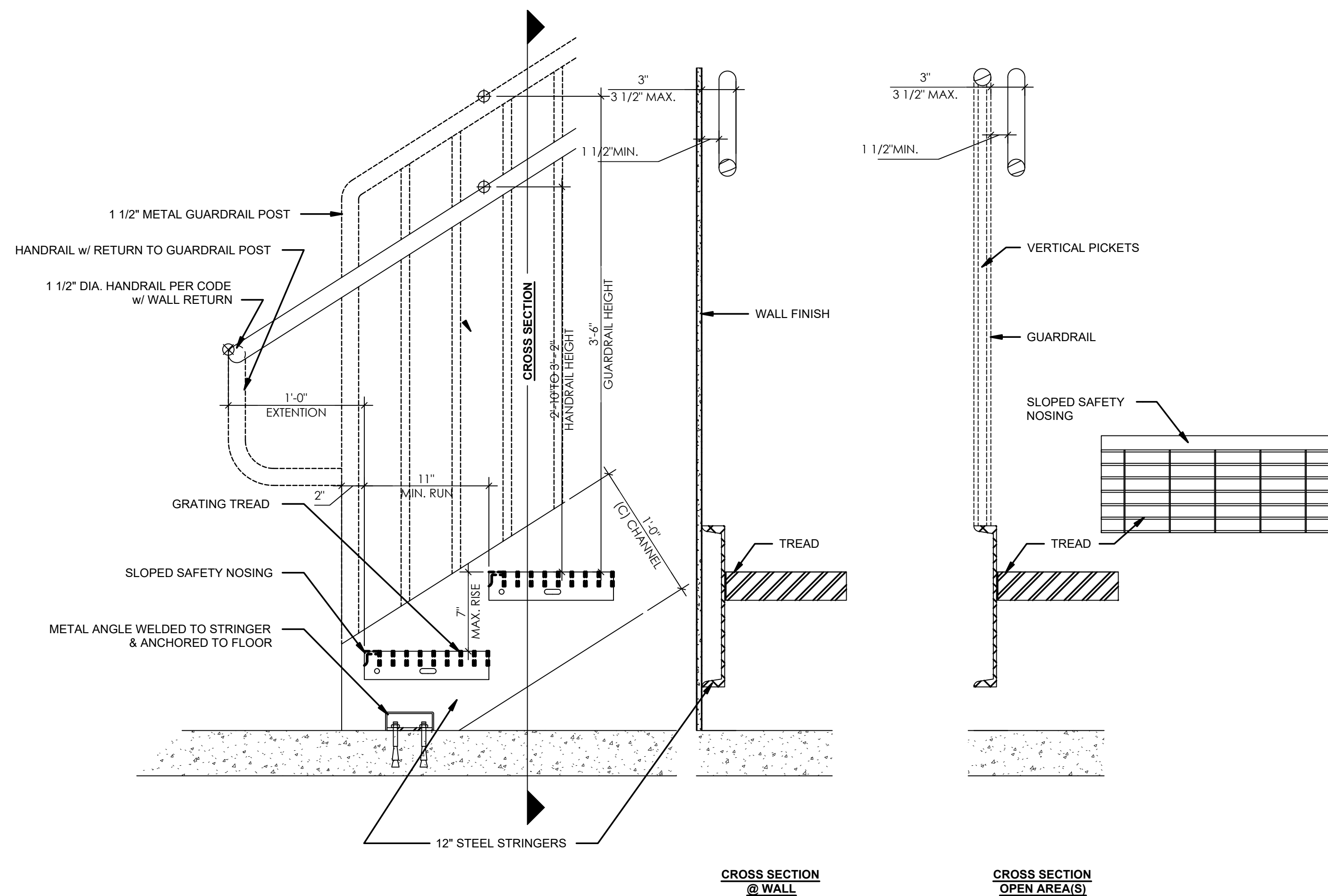
Building One  
29 Draughn Rd, Tarboro, NC  
27886

Drawn by: CGL  
Issue Date: 02/10/2025  
Project Number: 24-034  
Sheet: B-6

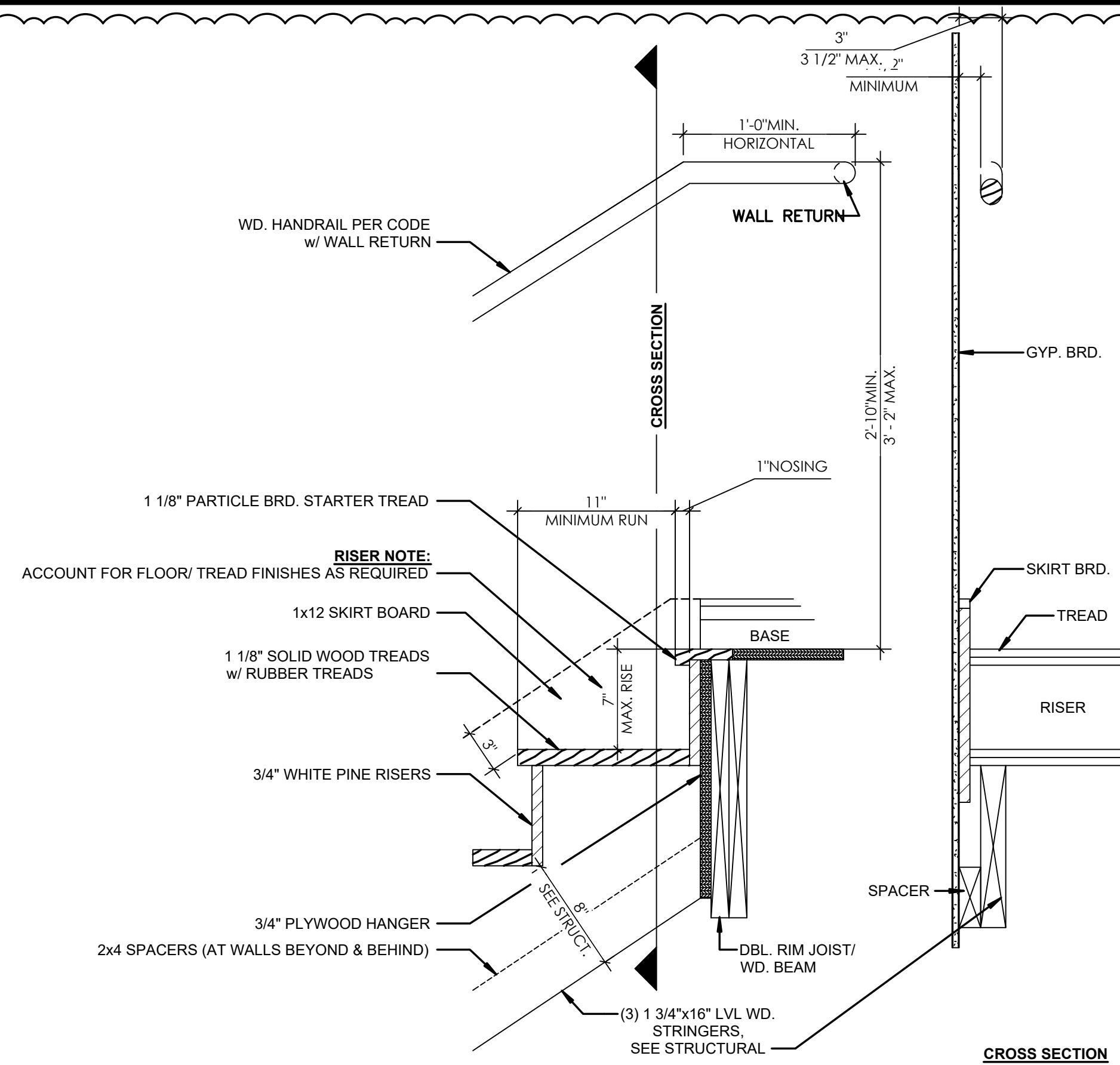




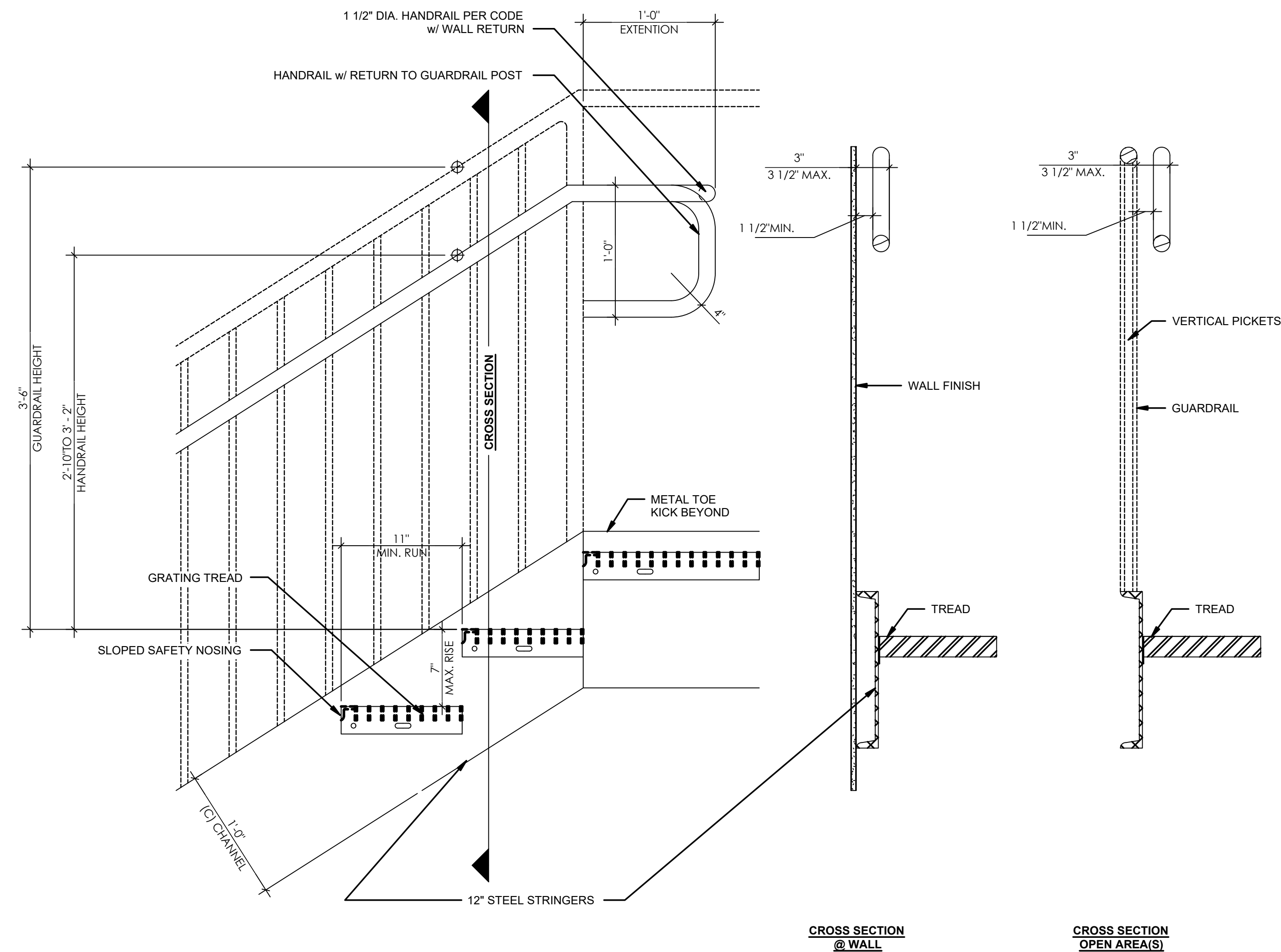
3 STAIR BASE DETAIL @ INTERIOR  
SCALE: 1 1/2" = 1'-0"



1 STAIR BASE DETAIL @ TRUCK BAYS  
SCALE: 1 1/2" = 1'-0"

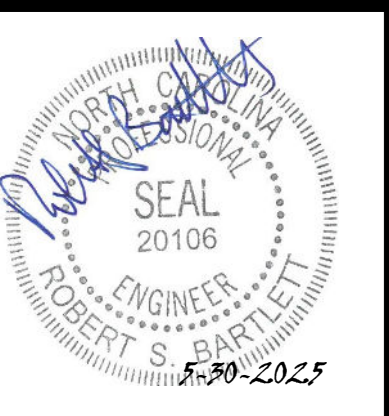


4 STARTER TREAD DETAIL @ INTERIOR  
SCALE: 1 1/2" = 1'-0"



2 STARTER TREAD DETAIL @ TRUCK BAYS  
SCALE: 1 1/2" = 1'-0"

Owner: David Coker  
Legget Volunteer Fire Dept.  
29 Draughn Road  
Tarboro, NC 27886



Rev.	Date:	Description:
2	05.22.25	As Per Engineer

Title Sheet: STAIR DETAILS - TRUCK BAYS  
Building One  
29 Draughn Rd, Tarboro, NC  
27886

Drawn by:	CGL
Issue Date:	02/10/2025
Project Number:	24-034
Sheet:	B-7